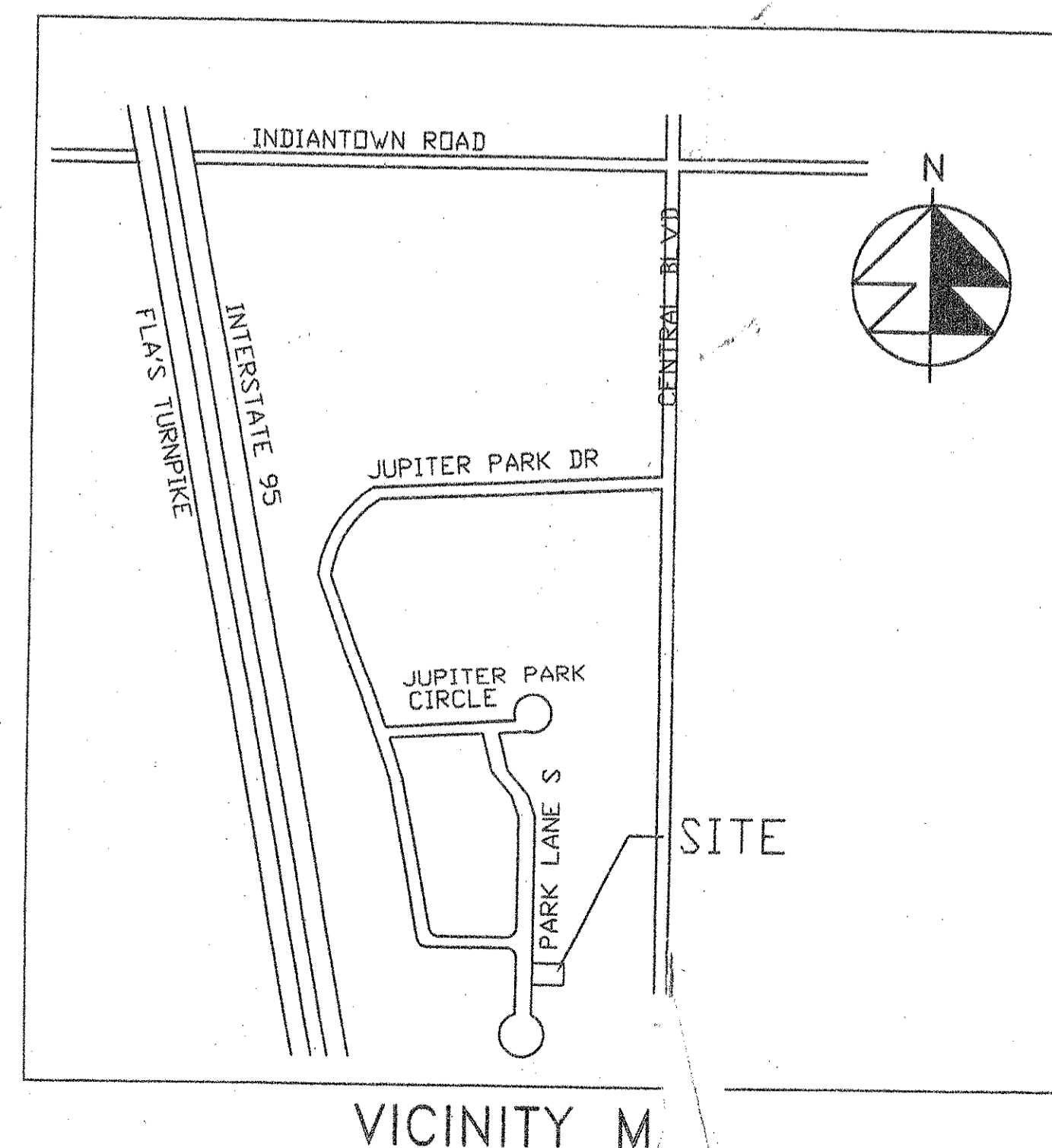


# CONSTRUCTION PLANS AND SPECIFICATIONS FOR JUPITER PARK OF COMMERCE LOT 18

SECTION 1 TOWNSHIP 41S RANGE 42E  
JUPITER, FLORIDA

**DEVELOPER**

**KUSCH CONSTRUCTION**  
13089 54TH LANE  
WEST PALM BEACH, FL 33411



Planning and Zoning Approval  
Signature: *[Signature]*  
Date: 6/10/08

DRAWINDEX	
C-1	COVER SHEET
C-2	SITE PLAN
C-3	GRADING, P. DRAINAGE PLAN
C-4	WATER & WTER PLAN
C-5	GRADING, P. DRAINAGE DETAILS
C-6	WATER & WTER DETAILS

REVISIONS  
JUN - 3 2008  
TOWN OF JUPITER  
BUILDING DIVISION

REVISIONS

**Jeff H. Iravani, Inc.**  
Consulting Engineers  
1934 COMMERCE LANE, SUITE 5  
JUPITER, FLORIDA 33458  
TEL: 561-575-6030  
FAX: 561-575-6088  
jiravani@worldnet.att.net

JUPITER PARK OF COMMERCE  
LOT 18  
JUPITER, FLORIDA

COVER SHEET

DATE	DESIGNED BY
07/08/02	JHI
SCALE	NA

SEAL

JOB NO.  
0105-629

SHEET NO.  
C-1

**DESCRIPTION:**

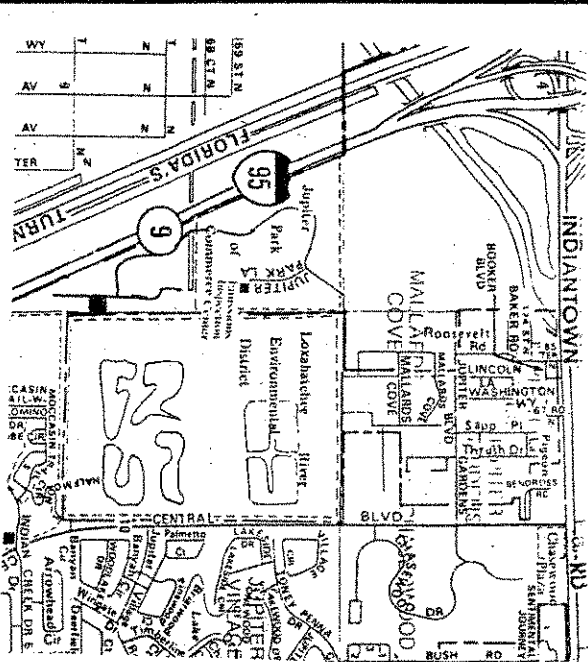
LOT 18, JUPITER PARK OF COMMERCE PHASE 2B, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 78, PAGES 28 THROUGH 29, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

SUBJECT TO EASEMENTS, RESTRICTIONS, RESERVATIONS AND RIGHTS OF WAY OF RECORD.

CONTAINING: 40,094 SQUARE FEET OR 0.92 ACRES, GROSS.

**BEARING BASE:**

THE EAST LINE OF THE NORTHEAST 1/4 OF SECTION 9, TOWNSHIP 41 SOUTH, RANGE 42 EAST, IS TAKEN TO BEAR S 01°30'12" W AND ALL OTHER BEARINGS SHOWN HEREON ARE RELATIVE THERETO.

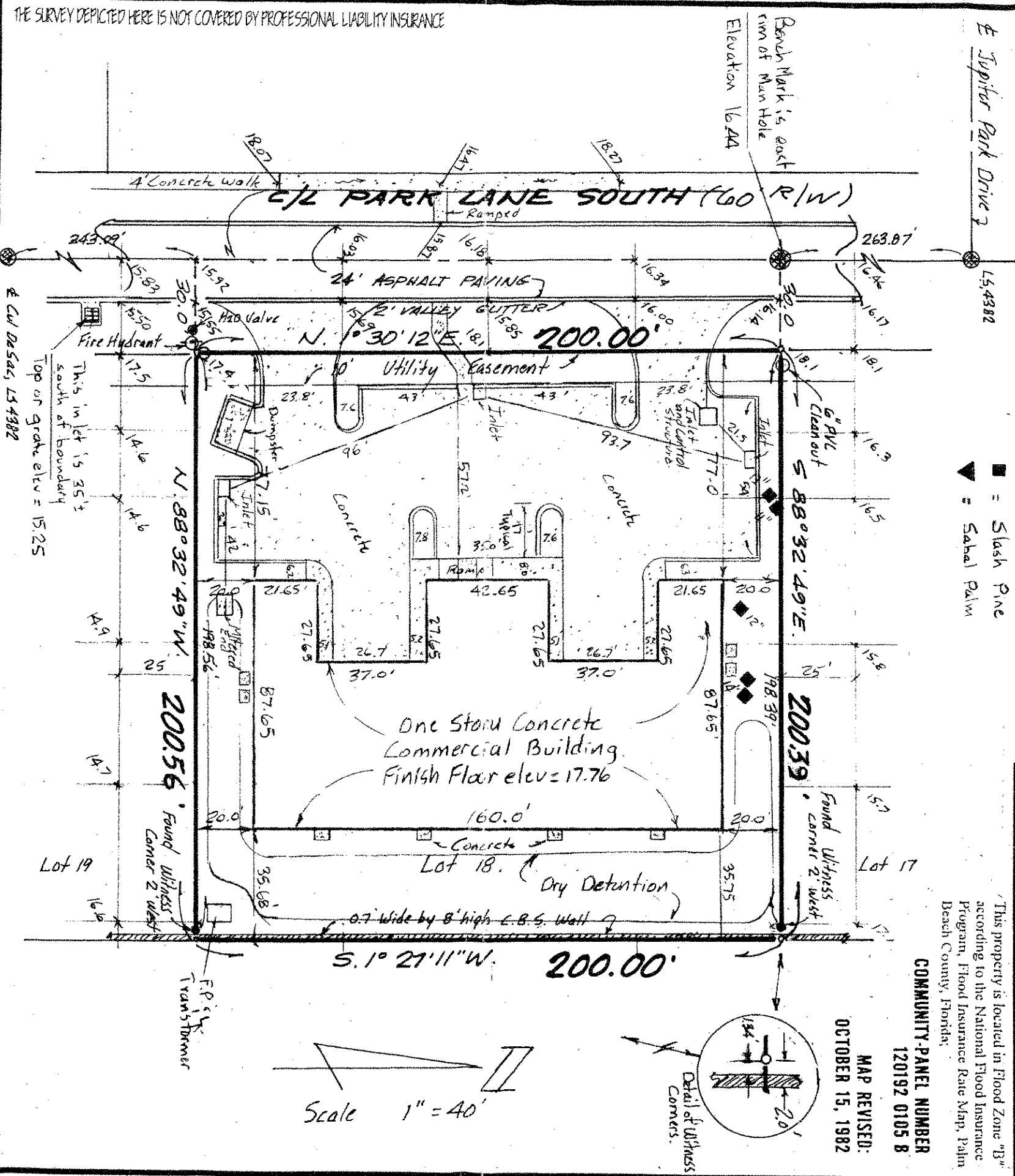


**LOCATION MAP**

This property is located in Flood Zone "13" according to the National Flood Insurance Program, Flood Insurance Rate Map, Palm Beach County, Florida.

COMMUNITY PANEL NUMBER  
120192 0105 8

MAP REVISED:  
OCTOBER 15, 1982



THE SURVEY DEPICTED HERE IS NOT COVERED BY PROFESSIONAL LIABILITY INSURANCE

**SURVEYOR'S NOTES:**

- NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS OFFICE.
- THIS SURVEY IS BASED ON THE DESCRIPTION AS FURNISHED BY THE CLIENT.
- THIS SURVEY IS NOT VALID UNLESS SEALED WITH AN EMBOSSED SURVEYOR'S SEAL. ELEVATIONS SHOWN HEREON, IF ANY, ARE BASED ON NATIONAL GEODETIC VERTICAL DATUM.

CERTIFIED TO:

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY DIRECTION, OF THE LANDS AS SHOWN AND DESCRIBED HEREON, AND SAID SURVEY COMPLIES WITH CHAPTER 61G12-9 OF THE FLORIDA ADMINISTRATIVE CODE, AND THAT THERE ARE NO ENCROACHMENTS, EXCEPT AS SHOWN HEREON.

TESTE: *[Signature]*  
PROFESSIONAL LAND SURVEYOR  
FLORIDA CERTIFICATE #4113

DATE OF SURVEY: 07-01-2004

**LEGEND:**

○	SET 5/8" REBAR & CAP LS #4113
●	FOUND REBAR & CAP
○	CENTERLINE
---	FENCE LINE
---	RIGHT-OF-WAY
---	EASEMENT
---	AIR CONDITIONER
M	FIELD MEASUREMENT
TYP	SECTION
RGE	TOWNSHIP
POB	RANGE
POC	POINT OF BEGINNING
PT	POINT OF COMMENCEMENT
CONG	POINT OF CURVATURE
BLK	POINT OF TANGENCY
CBS	CONCRETE
W/	BLOCK
FB	WITH
PG	PLAT BOOK
OR8	FIELD BOOK
AC	PAGE
PLS	OFFICIAL RECORD BOOK
A	NO IDENTIFICATION
R	PROFESSIONAL LAND SURVEYOR
T	CENTRAL ANGLE
A	RADIUS
ELEV	TANGENT
ANGD	ARC LENGTH
	ELEVATION
	NATIONAL GEODETIC VERTICAL DATUM

**L. Sam Osborne, Inc.**  
4091 121st Terrace North  
Royal Palm Beach, FL 33411  
phone (561)798-2848 fax (561)791-0400

TYPE OF SURVEY: **BOUNDARY**

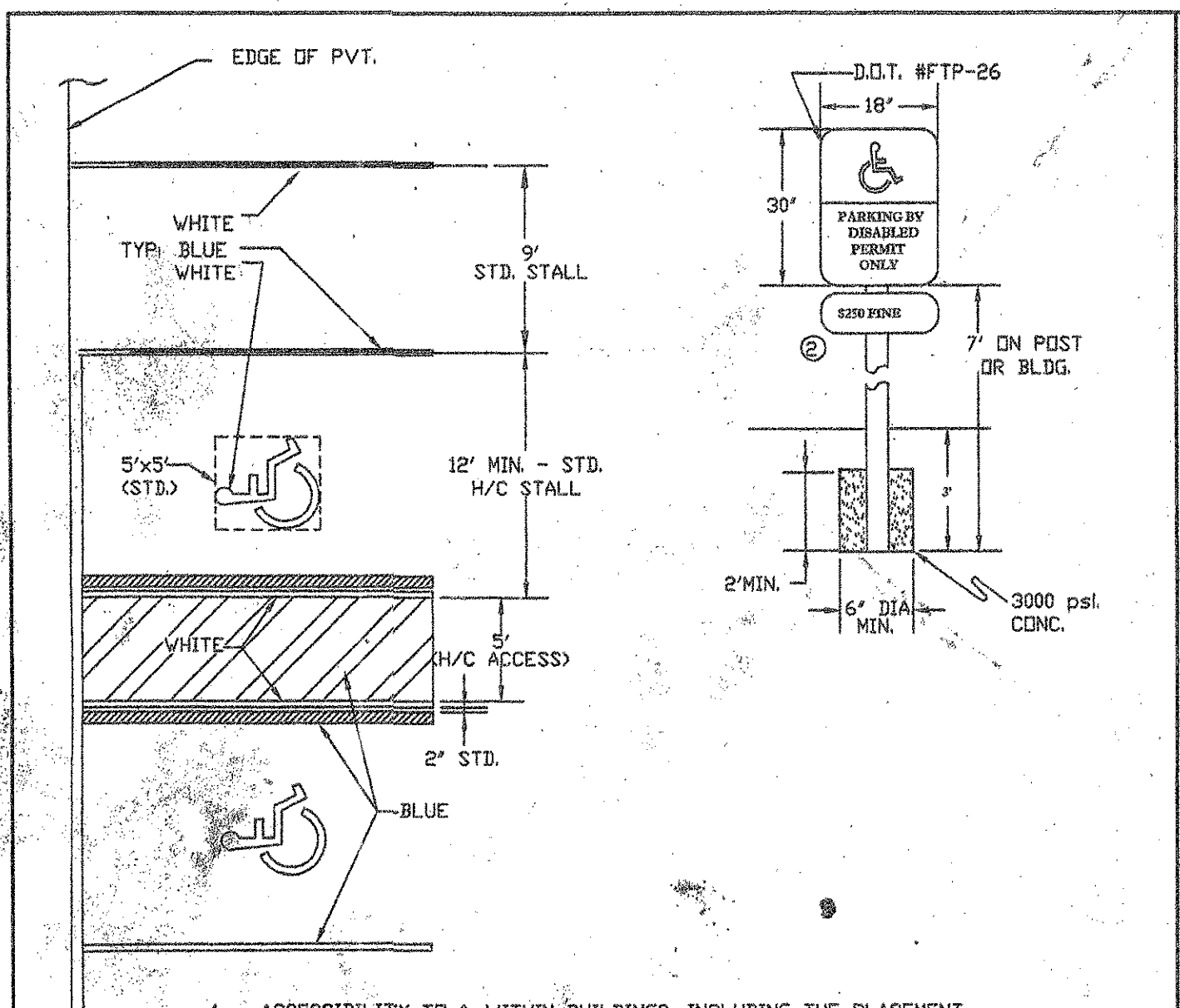
PREPARED FOR:  
**LARRY KUSCH**

DATE	REVISIONS:
7-1-04	Final Survey.
10-3-03	Form Board tie-in and elevation.
4-08-2005	Updated Survey
6-29-01	Tree Survey, topo elevations.
6-27-01	Update Survey, begin tree survey

FIELD: 50. SHEET: 1 OF 1

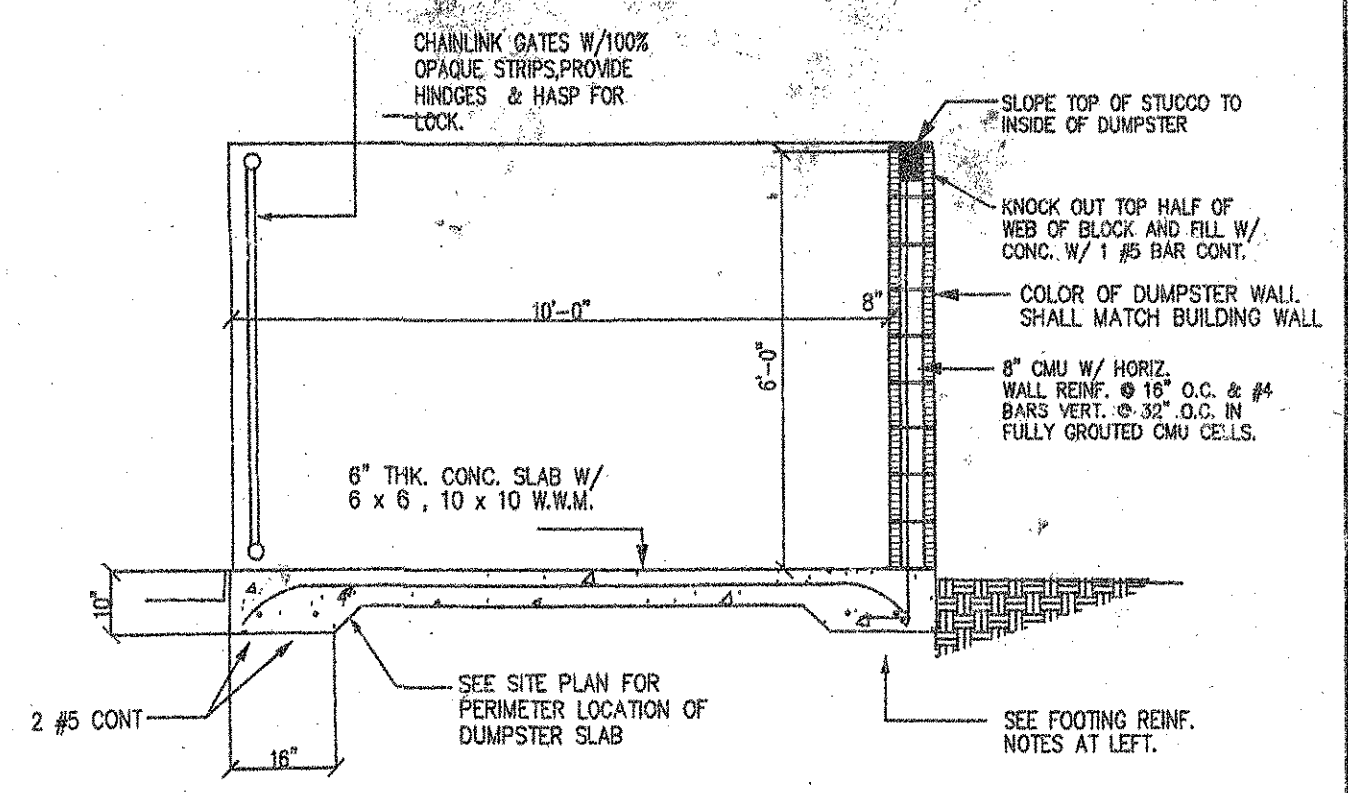
OFFICE: PK 30. FIELD BOOK: J-1 PAGE 35

CHECKED: 50. DRAWING NUMBER: 2000-171

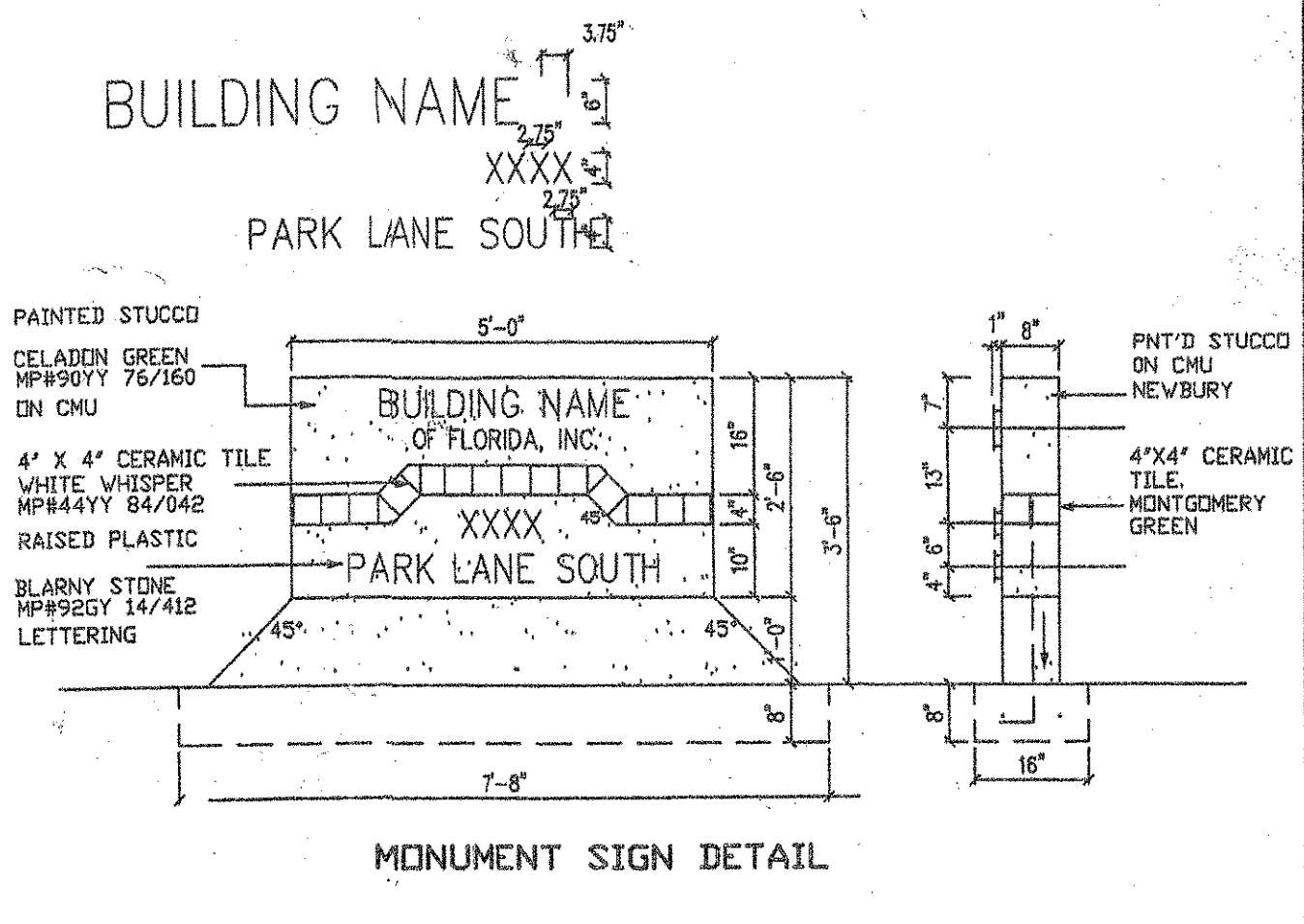


1. ACCESSIBILITY TO & WITHIN BUILDINGS, INCLUDING THE PLACEMENT OF RAMPS SHALL CONFORM TO THE LATEST EDITIONS OF THE D.C.A. ACCESSIBILITY MANUAL, CHAP. 553, PART V OF THE FL STATUTES & THE D.D.T. ROADWAY & TRAFFIC DESIGN STANDARDS.
2. ALL CURBING SHALL BE 12" TYPE 12" CONCRETE 3000 WITH 10' D.C. CONTROL JTS. & 3000 P.S.I. CONCRETE.
3. BUILT-UP CURB RAMPS SHALL NOT PROJECT INTO TRAFFIC LANES. A RAMP SHALL BE LOCATED ADJACENT TO ANY HANDICAP STALL THAT ADJUTS A SIDEWALK OR PUBLIC ENTRANCEWAY TO A BUILDING. THE RAMP SHALL HAVE A MAXIMUM SLOPE OF 1:12.
4. PAINT SHALL BE APPLIED AT A RATE THICK ENOUGH TO PROVIDE SOLID WHITE/BLUE/BLACK LINES WITH NO LIGHT SPOTS OR PAINT SKIPS 45 MILS. MIN.

**HANDICAP PARKING DETAIL**

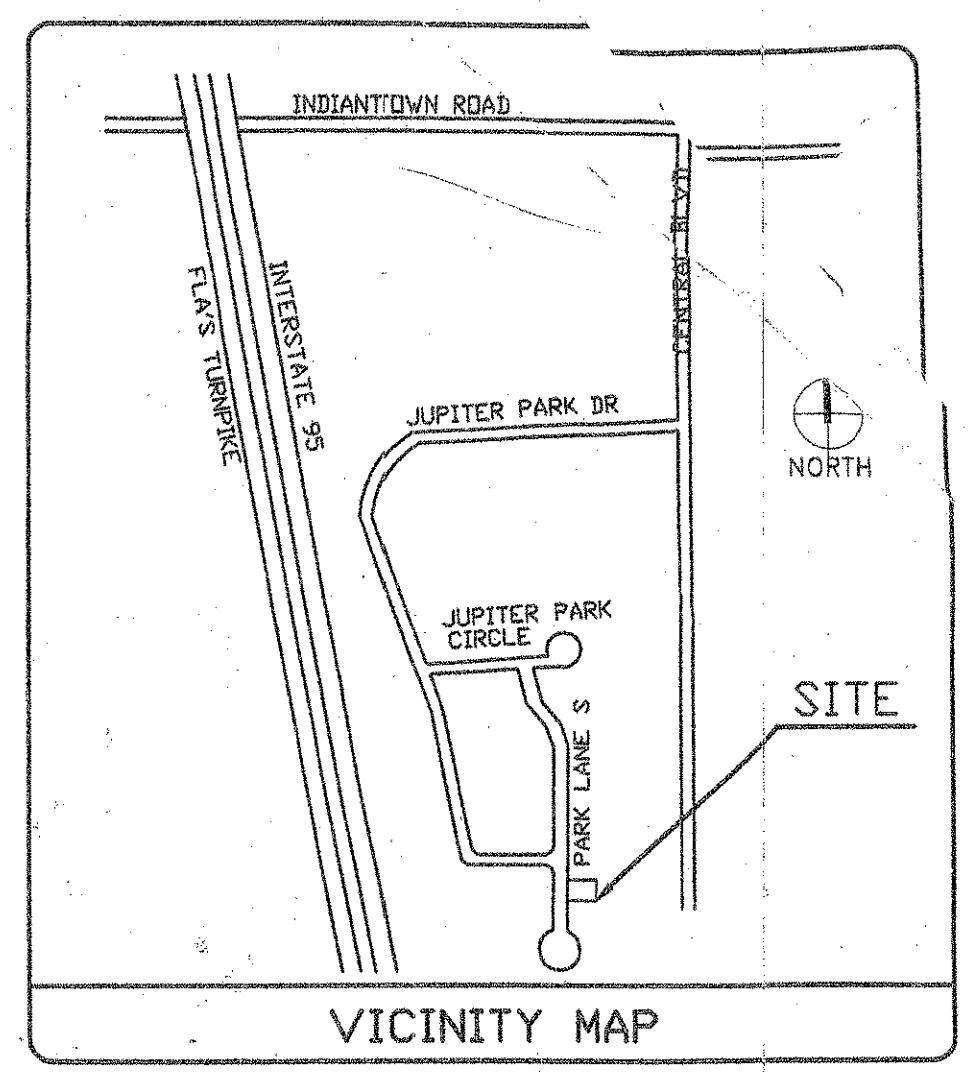


**DUMPSTER & ENCLOSURE DETAIL**



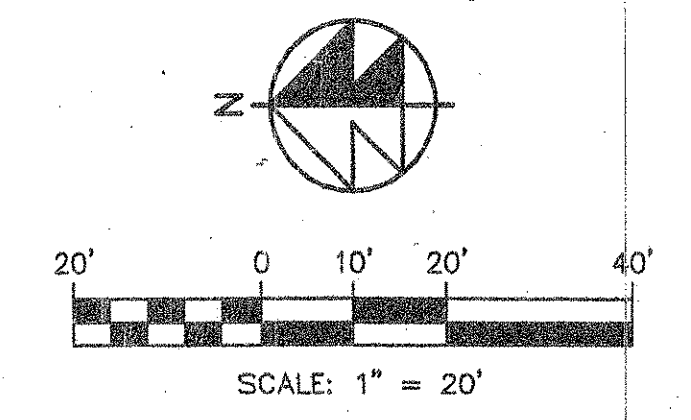
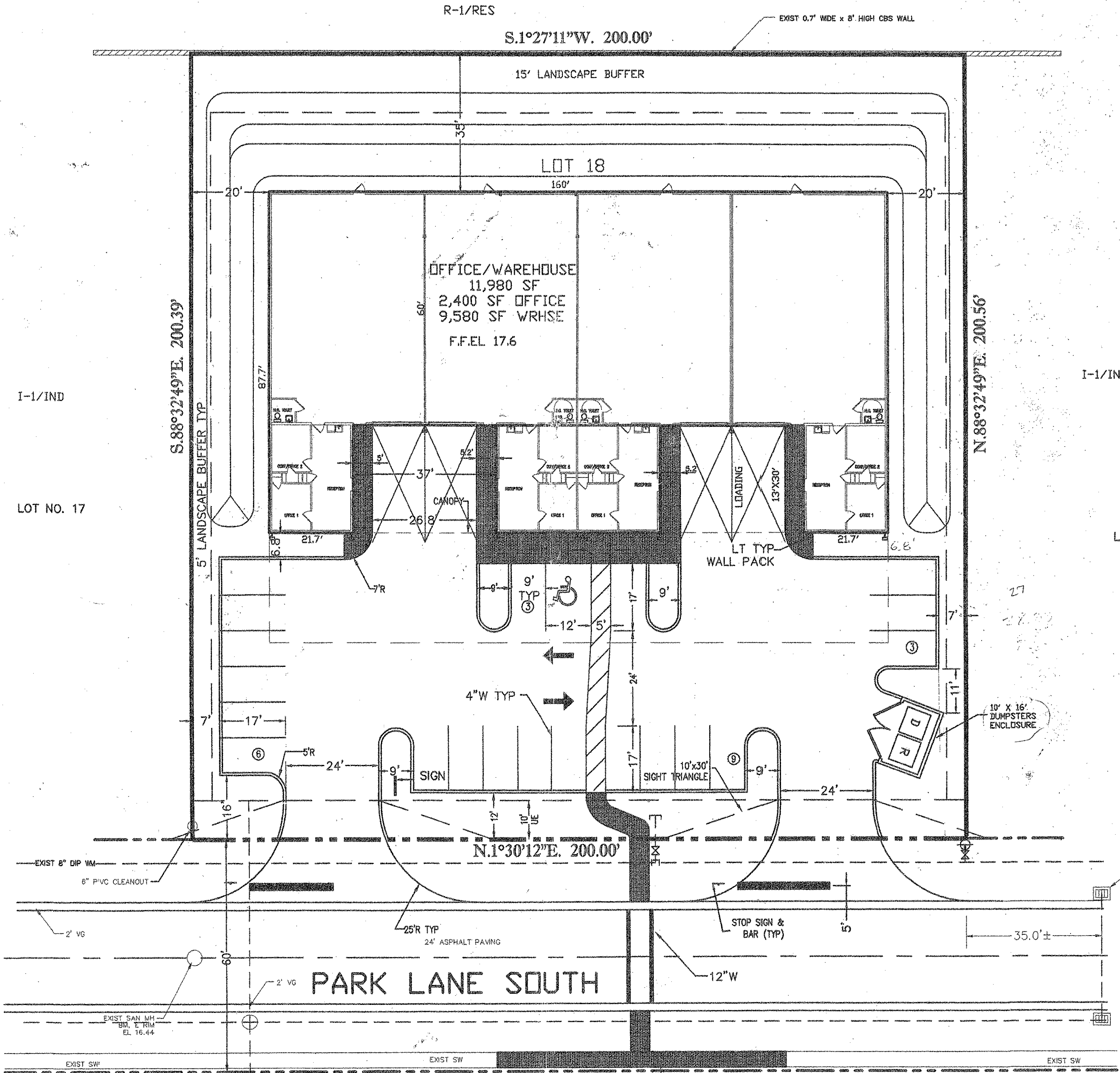
**MONUMENT SIGN DETAIL**

- CONDITIONS OF APPROVAL**
1. GENERAL: THE CONSTRUCTION OF LOT 20 OF THE JUPITER PARK OF COMMERCE SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE FOLLOWING DOCUMENTS, INCLUDING REVISIONS REQUIRED BY THIS APPROVAL:
    - A.) SITE PLAN, PREPARED BY JEFF H. IRAYANI, INC., DATED 02/21/02, REVISED ON 04/10/02, AND RECEIVED BY THE DIVISION OF PLANNING AND ZONING ON 05/14/02.
    - B.) LANDSCAPE PLAN, PREPARED BY MICHAEL RAMS, ASLA, DATED 08/30/01, REVISED 04/16/02, AND RECEIVED BY THE DIVISION OF PLANNING AND ZONING ON 05/14/02.
    - C.) ELEVATION DRAWINGS, PREPARED BY G. RAYMOND BERRY, DATED 05/07/02, AND RECEIVED BY THE DIVISION OF PLANNING AND ZONING ON 05/14/02.
    - D.) CONCEPTUAL DRAINAGE PLAN, PREPARED BY JEFF H. IRAYANI, INC., DATED 02/21/02, REVISED 04/10/02, AND RECEIVED BY THE DIVISION OF PLANNING AND ZONING ON 05/14/02.
    - E.) EXTERIOR COLORS, PREPARED BY KUSCH CONSTRUCTION, INC., DATED 03/21/02, RECEIVED BY THE DIVISION OF PLANNING AND ZONING ON 05/14/02.
    - F.) STATEMENT OF USE, PREPARED BY JEFF H. IRAYANI, INC., RECEIVED BY THE DIVISION OF PLANNING AND ZONING ON 09/10/01.
  2. ANY REVISIONS TO THE SITE PLAN, LANDSCAPE PLAN, ELEVATIONS, SIGNS, STATEMENT OF USE, OR OTHER DETAILS SUBMITTED AS PART OF THIS APPLICATION, INCLUDING BUT NOT LIMITED TO THE LOCATION OF THE PROPOSED IMPROVEMENTS, OR ADDITIONAL, REVISED, OR DELETED COLORS, MATERIALS, OR STRUCTURES, SHALL BE REQUESTED IN WRITING TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT (HEREIN AFTER REFERRED TO AS DEPARTMENT) AND THE CHANGES SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF DEPARTMENT.
  3. DURING THE CONSTRUCTION OF THE PROJECT, THE APPLICANT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PUBLIC ROADS ARE MAINTAINED IN THE CONDITION THAT EXISTED PRIOR TO THE ISSUANCE OF THE FIRST DEVELOPMENT PERMIT, IN THE EVENT THAT THE APPLICANT CAUSES ANY DAMAGE BEYOND NORMAL WEAR AND TEAR, THE APPLICANT SHALL BE RESPONSIBLE FOR RETURNING THE PUBLIC ROADWAY TO THE TOWN'S STANDARDS.
  4. SITE PLAN, UPON SUBMITTAL OF FINAL PLANS AND PRIOR TO THE ISSUANCE OF ANY DEVELOPMENT PERMITS, THE APPLICANT SHALL REVISE THE SITE PLAN TO PROVIDE THE FOLLOWING:
    - A) AN OPAQUE WOODEN OR METAL GATE ON THE FRONT OF THE DUMPSTER ENCLOSURE.
    - B) CONNECT THE PROPOSED SIDEWALK WITH THE EXISTING SIDEWALK ON THE WEST SIDE OF PARK LANE SOUTH, INCLUDING STRIPING AND SIGNAGE AT THE STREET CROSSING.
  5. LANDSCAPE PLAN, UPON SUBMITTAL OF FINAL PLANS AND PRIOR TO THE ISSUANCE OF A VEGETATION REMOVAL PERMIT AND/OR ANY DEVELOPMENT PERMITS, THE APPLICANT SHALL REVISE THE LANDSCAPE PLAN TO PROVIDE:
    - A. PURSUANT TO SECTION 23-82.1, ENTITLED "GREEN SPACE STANDARDS", THE APPLICANT MUST PLANT THE GREENSPACE WITH NATIVE LANDSCAPE MATERIAL INDICATIVE OF THE AREA. THIS AREA WAS PREDOMINANTLY PINE FLATWOODS (SLASH PINES, SAW PALMETTO, WAX MYRTLE, ETC.), AND PLANT MATERIAL SHALL BE PLANTED WITH QUANTITIES AND SPACING BASED UPON THE ULTIMATE GROWTH OF THE SPECIES, PARTICULARLY THE AREA TO THE EAST OF THE PROPERTY.
    - B. PLEASE MODIFY THE NOTE REGARDING ROOT BARRIERS TO STATE "TWENTY-FOUR INCH ROOT BARRIERS SHALL BE INSTALLED."
    - C. VARY THE HEIGHTS OF THE PROPOSED SLASH PINES FROM 8 TO 14 FEET OVERALL HEIGHT.
    - D. A NOTE ON THE LANDSCAPE PLAN THAT SOIL IRRIGATION WILL BE PROVIDED IN THE RIGHT-OF-WAY, ADJACENT TO PARK LANE SOUTH.
  6. ENSURE THAT LIGHT POLES ARE LOCATED IN APPROPRIATE LOCATIONS THAT DO NOT CONFLICT WITH REQUIRED LANDSCAPING.
  7. TREE PROTECTION AND PRESERVATION PLAN THAT OUTLINES THE PROCESS TO ENSURE THAT THERE ARE NO IMPACTS TO THE TREES THAT WILL BE PRESERVED. THIS INCLUDES WRITTEN PROCEDURES AND DETAIL DRAWINGS OF PROTECTIVE MEASURES, INCLUDING BUT NOT LIMITED TO THE LOCATION AND TYPE OF CONSTRUCTION FENCING THAT WILL BE UTILIZED AS OUTLINED IN DIVISION IV OF THE TOWN'S ENVIRONMENTAL CODE, ENTITLED "VEGETATION REMOVAL REQUIREMENTS". NO GRADING OR EXCAVATION WILL BE PERMITTED WITHIN THE DRIPLINE OF THE THREE PINE TREES WHICH ARE TO BE SAVED. REVISE PLANS ACCORDINGLY. STAFF RECOMMENDS THE APPLICANT RELOCATE THE PROPOSED CATCH BASIN AT THE NORTHWEST CORNER OF THE BUILDING TO THE SOUTHWEST CORNER OF THE BUILDING, AND REVERSE THE GRADE OF THE RETENTION AREA.
  8. SIGNAGE: THE APPLICANT SHALL BE LIMITED TO THE FOLLOWING SIGNAGE:
    - A. ONE FREESTANDING SIGN, A MAXIMUM OF 6 FEET HIGH, AND 48 SQUARE FEET IN AREA.
    - B. ONE TENANT SIGN PER BAY, EACH SIGN A MAXIMUM OF 6 SQUARE FEET.
  9. OUTDOOR STORAGE: THE FOLLOWING ITEMS/USES SHALL BE PROHIBITED OUTSIDE THE CONFINES OF THE PRINCIPAL STRUCTURE OR PLACEMENT ON THE EXTERIOR PORTIONS OF THE SUBJECT PROPERTY:
    - A. FOOD SERVICE/DRINK/VENDING OR OTHER SIMILAR FOOD DISPENSING UNITS/MACHINES.
    - B. OTHER VENDING MACHINES DISPENSING ALL TYPES OF MERCHANDISE, PRODUCTS, GOODS, HANDBILLS, ADVERTISING MAGAZINES, ETC.
    - C. PUBLIC TELEPHONES SHALL BE EXEMPT FROM THESE PROVISIONS.
  10. MISCELLANEOUS: INDICATE THE PLACEMENT OF AIR-CONDITIONING UNITS ON THE FINAL ROOF PLANS, AND ENSURE THE UNITS ARE SCREENED FROM VIEW FROM ALL PUBLIC RIGHTS-OF-WAY AND RESIDENTIAL NEIGHBORHOODS.
  11. SUBMIT A STATEMENT INDICATING THE PROPOSED DEVELOPMENT MEETS THE REQUIREMENTS OF CHAPTER 13, ARTICLE IV OF THE TOWN CODE, ENTITLED "NOISE".



REVISIONS  
12/02/02 PER TO

**Jeff H. Irayani, Inc.**  
 Consumer Engineers  
 1934 COMMERCE LANE, SUITE 5  
 JUPITER, FLORIDA 33458  
 (561) 575-6030  
 (561) 575-6088  
 irayani@worldnet.att.net



**SITE DATA**

PROPOSED USE	OFFICE/WAREHOUSE
FUTURE LAND USE	IND
ZONING	I-1
PCN	20424108030000180
LOT AREA	40,094 SF 0.92 AC 100%
GROSS FLOOR AREA	11,980 SF 0.28 AC 29.9%
OFFICE	2,400 SF
WAREHOUSE	9,580 SF
PAVT/SW	13,754 SF 0.31 AC 34.3%
IMPERVIOUS AREA	25,734 SF 0.59 AC 64.2%
OPEN SPACE	14,360 SF 0.33 AC 35.8%
BLDG HEIGHT	30 FT MAX
LIGHTING FIXTURES HEIGHT	25 FT MAX
PARKING REQ	20 SP
OFFICE	1/250 SF 10 SP
WAREHOUSE	1/1,000 SF 10 SP
HANDICAP	1 SP
PARKING PROP	21 SP
HANDICAP	1 SP
LOADING	4 SP
FRONT SETBACK (MINIMUM)	= 35 FEET
REAR SETBACK (MINIMUM)	= 35 FEET
NOTE: FRONT PLUS REAR MUST EQUAL 75' MINIMUM.	
SIDE SETBACK (MINIMUM)	= 10 FEET
NOTE: BOTH SIDES COMBINED MUST EQUAL 40' MINIMUM.	

**LEGAL DESCRIPTION:**  
 BEING ALL OF LOT 18 JUPITER PARK OF COMMERCE, PHASE 2B, JUPITER, FLORIDA - PALM BEACH COUNTY ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 28 PAGES 28 THROUGH 28 OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, SECTION 9, TOWNSHIP 41 SOUTH, RANGE 42 EAST

**NOTE:**  
 ALL PAVEMENT STRIPING SHALL BE TRAFFIC PAINT IN ACCORDANCE WITH FDOT INDEX 15347. STRIPING FOR PEDESTRIAN CROSSING AND STOP BARS SHALL BE THERMOPLASTIC IN ACCORDANCE WITH FDOT INDEX 15347.

TOWN OF JUPITER  
 BUILDING DIVISION  
 JUN 16 2003  
 REVIEWED FOR  
 CODE COMPLIANCE

**REVISIONS**  
 JUN - 3 2003  
 TOWN OF JUPITER  
 BUILDING DIVISION

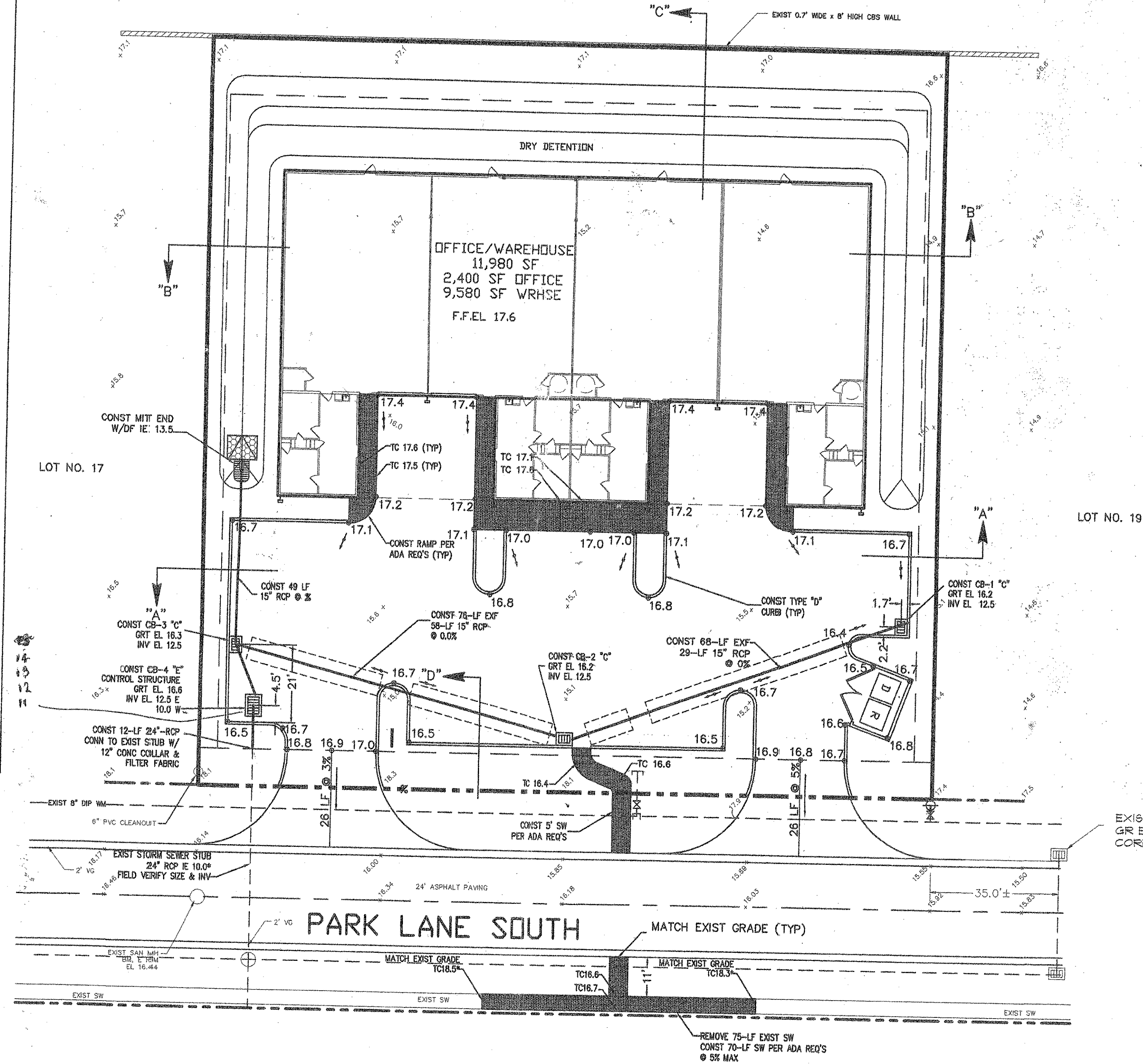
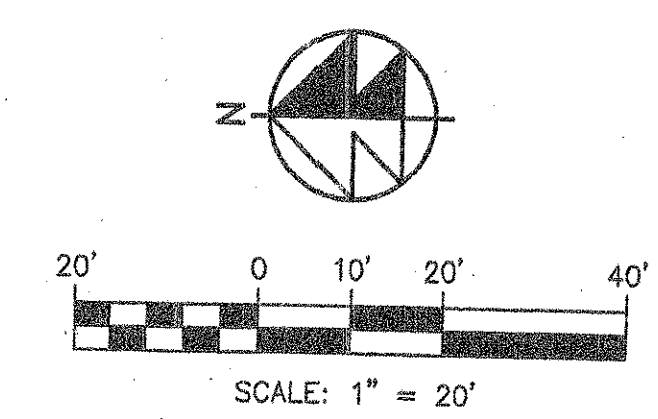
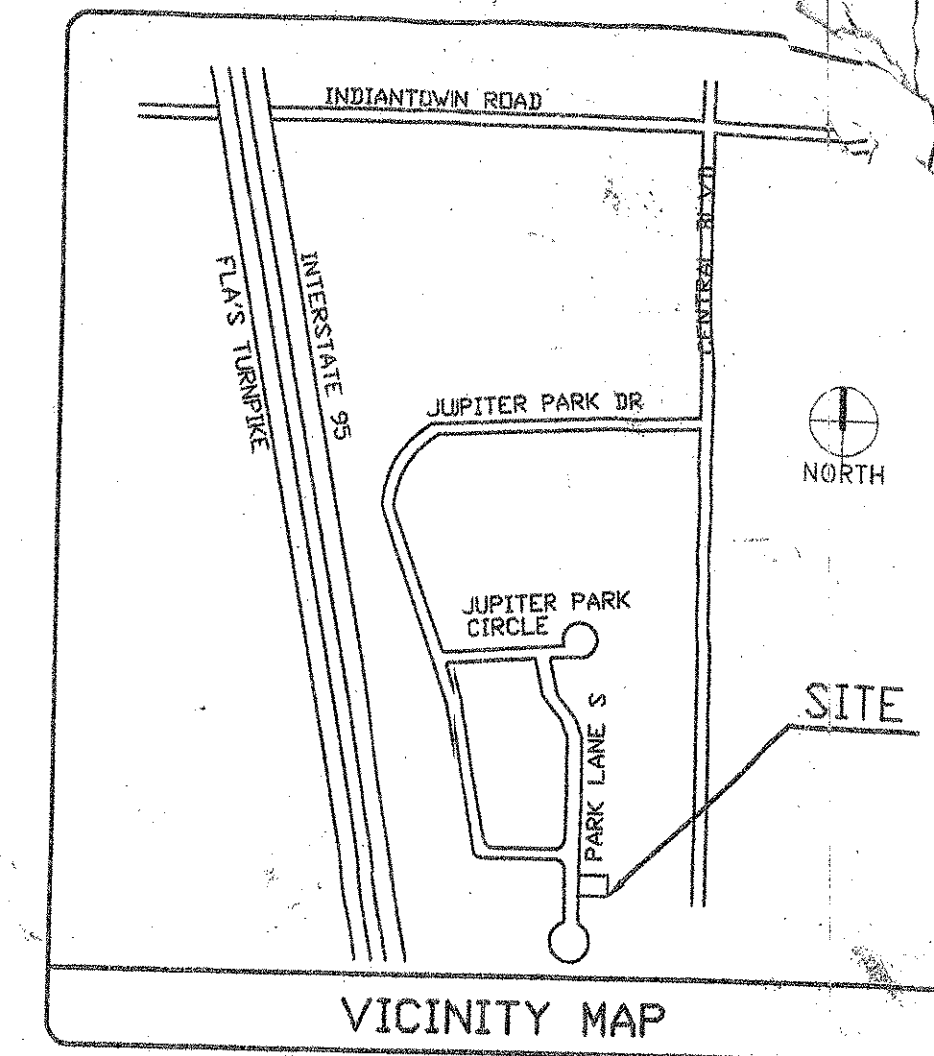
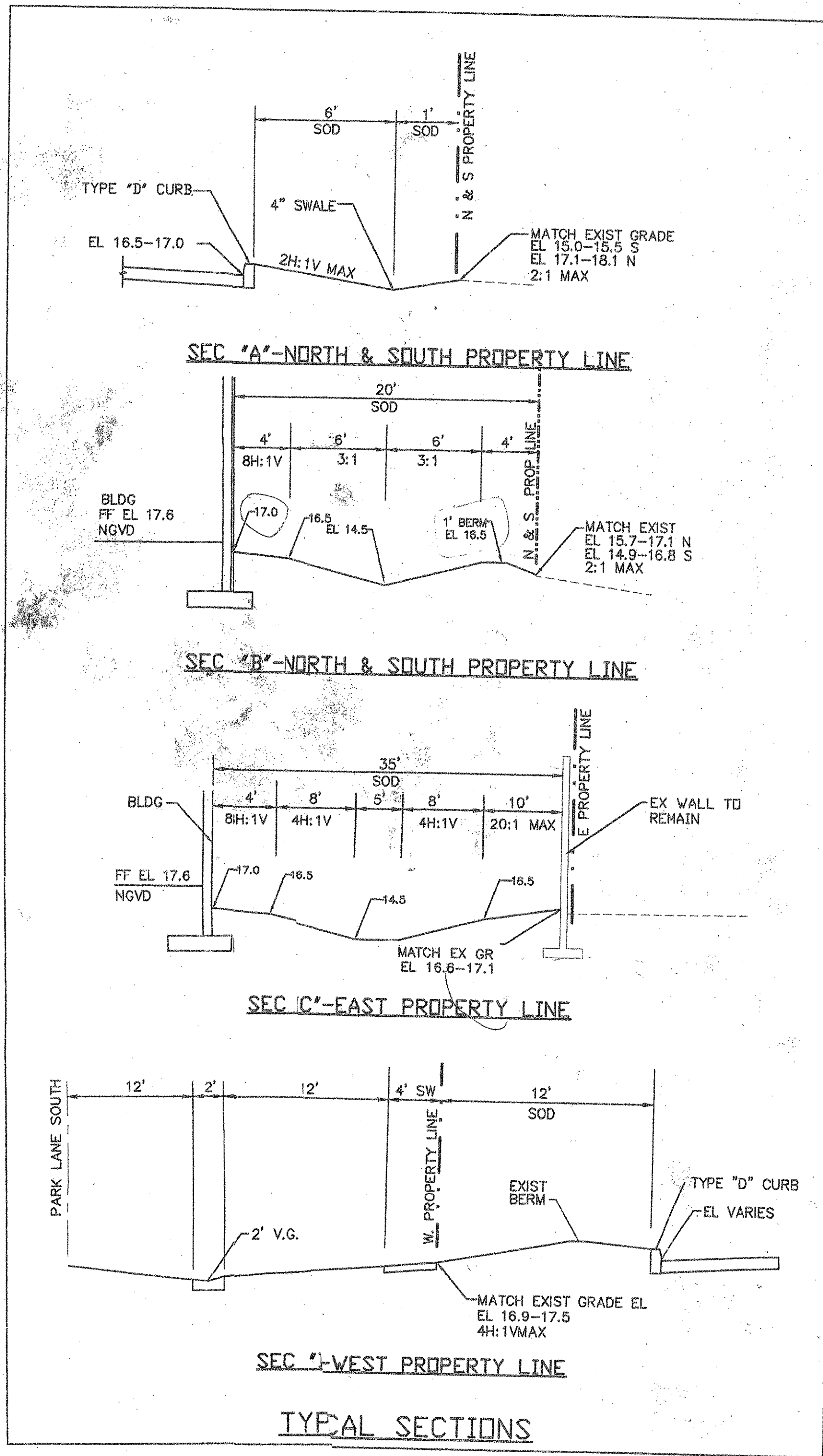
Planning and Zoning Approval  
 Signature: [Signature]  
 Date: 6/14/03

**FINAL PLAN**  
 06/27/2002 TOWN OF JUPITER SITE PLAN APPROVAL

JUPITER PARK OF COMMERCE  
 LOT 18  
 FLORIDA

**SITE PLAN**  
 DRAWN BY: PAD  
 DESIGNED BY: JHI  
 SCALE: 1"=20'  
 DATE: 07-31-2002

SEAL  
 JOB NO.  
 0105-629  
 SHEET NO.  
 C-2



REVISIONS

12/05/02 PER TOJ

**Jeff H. Irvani, Inc.**  
 Consulting Engineers

1934 COMMERCE LANE, SUITE 5  
 JUPITER, FLORIDA 33458

(561) 575-6030  
 FAX 575-6098

irvani@worldnet.att.net

JUPITER PARK OF COMMERCE  
 LOT 18

JUPITER FLORIDA

GRADING, PAVING & DRAINAGE PLAN

DESIGNED BY: JHI  
 DRAWN BY: PAD

DATE: 07-31-2002  
 SCALE: 1"=20'

REVISIONS

JUN - 3 2003

TOWN OF JUPITER BUILDING DIVISION

LEGEND

- PROF PAVT EL
- EXIST EL
- CONTRACTOR TO FIELD VERIFY
- INVERT EL
- INVERT EL
- TOP OF
- EXFILTRATION TRENCH
- TOP OF CONCRETE
- WATER MAIN
- FORCE MAIN
- WASTEWATER GRAVITY
- FIRE HYDRANT
- GATE VALVE
- SIAMOSE CONN.
- CHECK VALVE
- DOUBLE DETECTOR
- CHECK VALVES
- WATER METER
- REDUCED PRESSURE
- BACKFLOW PREV.
- SAMPLE POINT
- ENTERED END SECTION
- FIN FLOOR ELEV
- FLOW LINE ELEV
- TOP OF BANK
- TDE OF SLOPE

48 HOURS BEFORE DIGGING  
 CALL TOLL FREE  
 1-800-432-4770  
 CALL SUNSHINE  
 NOTIFICATION CENTER

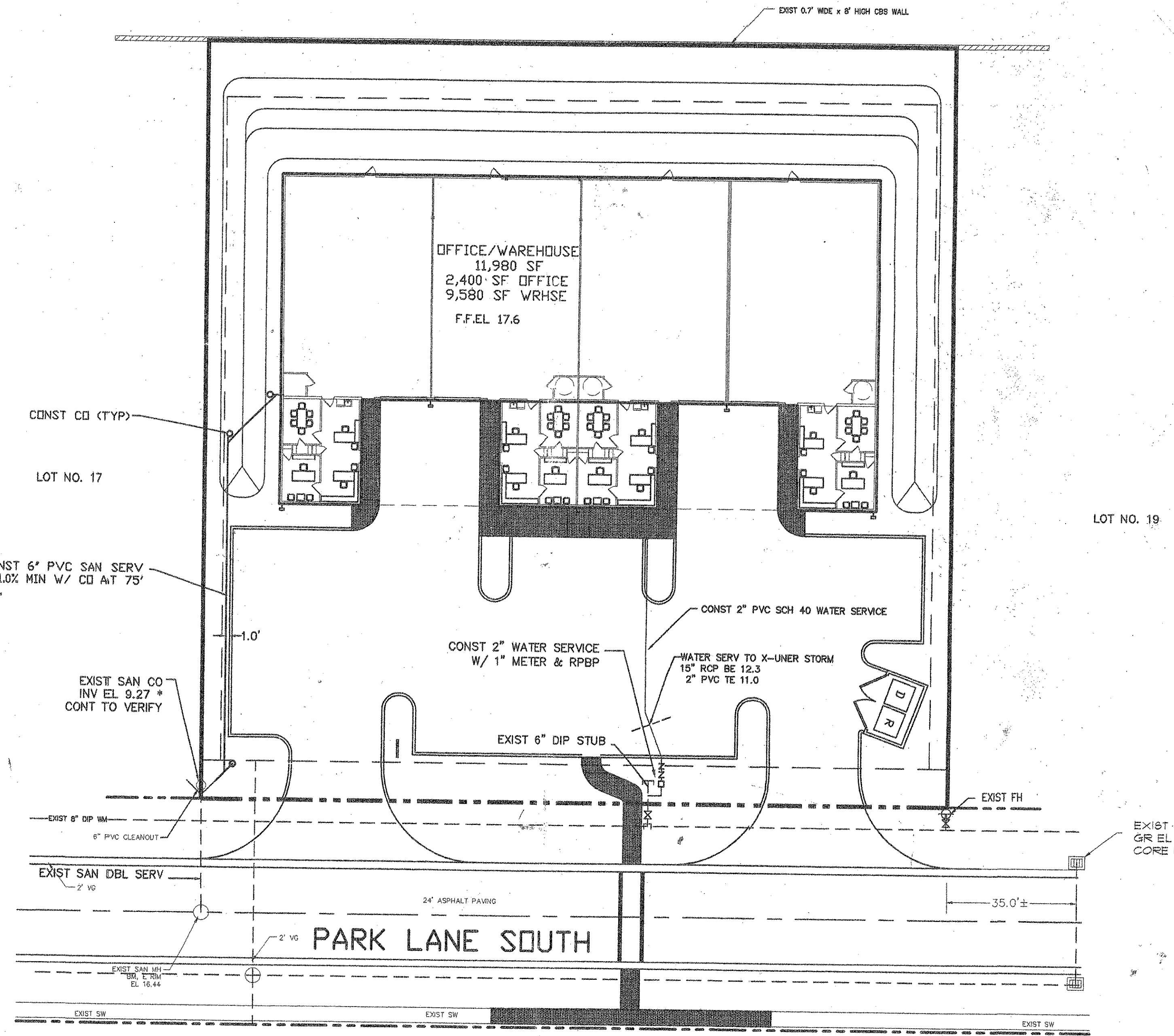
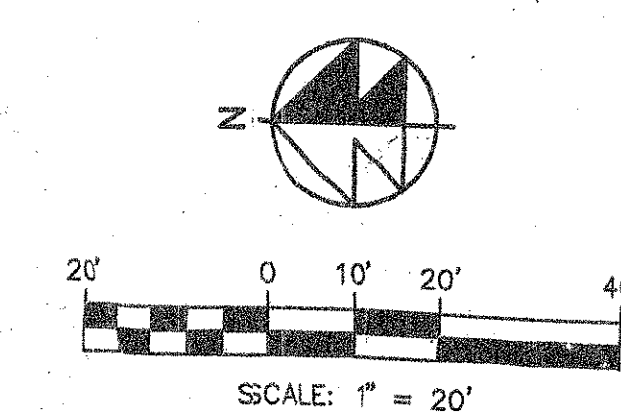
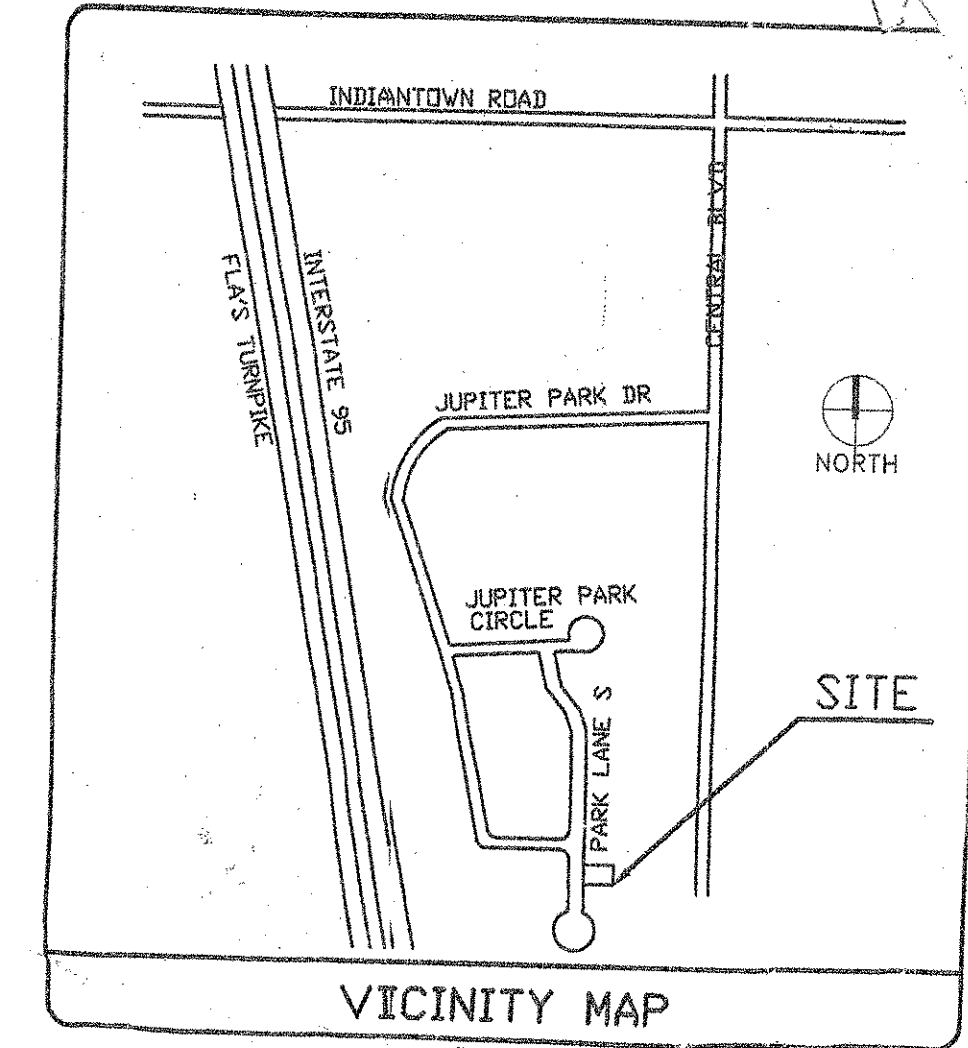
SEAL

JOB NO.  
 0105-629

SHEET NO.  
 C-3

CONDITIONS OF APPROVAL

- GENERAL. THE CONSTRUCTION OF LOT 20 OF THE JUPITER PARK OF COMMERCE SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE FOLLOWING DOCUMENTS, INCLUDING REVISIONS REQUIRED BY THIS APPROVAL:
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  - LANDSCAPE PLAN, PREPARED BY MICHAEL RAWLS, ASLA, DATED 08/30/01, REVISED 04/18/02, AND RECEIVED BY THE DIVISION OF PLANNING AND ZONING ON 05/14/02.
  - ELEVATION DRAWINGS, PREPARED BY G. RAYMOND BERRY, DATED 05/07/02, AND RECEIVED BY THE DIVISION OF PLANNING AND ZONING ON 05/14/02.
  - CONCEPTUAL DRAINAGE PLAN, PREPARED BY JEFF H. IRAVANI, INC., DATED 02/21/02, REVISED 04/10/02, AND RECEIVED BY THE DIVISION OF PLANNING AND ZONING ON 5/14/02.
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  - STATEMENT OF USE, PREPARED BY JEFF H. IRAVANI, INC., RECEIVED BY THE DIVISION OF PLANNING AND ZONING ON 09/10/01.
- ANY REVISIONS TO THE SITE PLAN, LANDSCAPE PLAN, ELEVATIONS, SIGNS, STATEMENT OF USE, OR OTHER DETAILS SUBMITTED AS PART OF THIS PROPOSED IMPROVEMENTS, OR ADDITIONAL, REVISED, OR DELETED COLORS, MATERIALS, OR STRUCTURES, SHALL BE REQUESTED IN WRITING TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT, (HEREIN AFTER REFERRED TO AS DEPARTMENT) AND THE CHANGES SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF DEPARTMENT.
  - DURING THE CONSTRUCTION OF THE PROJECT, THE APPLICANT SHALL BE RESPONSIBLE FOR ENSURING THAT ALL PUBLIC ROADS ARE MAINTAINED IN THE CONDITION THAT EXISTED PRIOR TO THE ISSUANCE OF THE FIRST DEVELOPMENT PERMIT. IN THE EVENT THAT THE APPLICANT CAUSES ANY DAMAGE BEYOND NORMAL WEAR AND TEAR, THE APPLICANT SHALL BE RESPONSIBLE FOR RETURNING THE PUBLIC ROADWAY TO THE TOWN'S STANDARDS.
  - SITE PLAN. UPON SUBMITTAL OF FINAL PLANS AND PRIOR TO THE ISSUANCE OF ANY DEVELOPMENT PERMITS, THE APPLICANT SHALL REVISE THE SITE PLAN TO PROVIDE THE FOLLOWING:
    - AN OPAQUE WOODEN OR METAL GATE ON THE FRONT OF THE DUMPSTER ENCLOSURE.
    - CONNECT THE PROPOSED SIDEWALK WITH THE EXISTING SIDEWALK ON THE WEST SIDE OF PARK LANE SOUTH, INCLUDING STRIPING AND SIGNAGE AT THE STREET CROSSING.
  - LANDSCAPE PLAN. UPON SUBMITTAL OF FINAL PLANS AND PRIOR TO THE ISSUANCE OF A VEGETATION REMOVAL PERMIT AND/OR ANY DEVELOPMENT PERMITS, THE APPLICANT SHALL REVISE THE LANDSCAPE PLAN TO PROVIDE:
    - PURSUANT TO SECTION 23-62.1, ENTITLED "GREEN SPACE STANDARDS", THE APPLICANT MUST PLANT THE GREENSPACE WITH NATIVE LANDSCAPE MATERIAL INDICATIVE OF THE AREA. THIS AREA WAS PREDOMINANTLY PINE FLATWOODS (SLASH PINES, SAW PALMETTO, WAX MYRTLE, ETC.), AND PLANT MATERIAL SHALL BE PLANTED WITH QUANTITIES AND SPACING BASED UPON THE ULTIMATE GROWTH OF THE SPECIES, PARTICULARLY THE AREA TO THE EAST OF THE PROPERTY.
    - PLEASE MODIFY THE NOTE REGARDING ROOT BARRIERS TO STATE "TWENTY-FOUR INCH ROOT BARRIERS SHALL BE INSTALLED..."
    - VARY THE HEIGHTS OF THE PROPOSED SLASH PINES FROM 8 TO 14 FEET OVERALL HEIGHT.
    - A NOTE ON THE LANDSCAPE PLAN THAT SOIL AND IRRIGATION WILL BE PROVIDED IN THE RIGHT-OF-WAY, ADJACENT TO PARK LANE SOUTH.
  - ENSURE THAT LIGHT POLES ARE LOCATED IN APPROPRIATE LOCATIONS THAT DO NOT CONFLICT WITH REQUIRED LANDSCAPING.
  - PROCESS TO ENSURE THAT THERE ARE NO IMPACTS TO THE TREES THAT WILL BE PRESERVED. THIS INCLUDES IDENTIFYING THE TREES THAT DRAWINGS OF PROTECTIVE MEASURES, INCLUDING BUT NOT LIMITED TO THE LOCATION AND TYPE OF CONSTRUCTION FENCING THAT WILL BE UTILIZED AS OUTLINED IN DIVISION IV OF THE TOWN'S ENVIRONMENTAL CODE, ENTITLED "VEGETATION REMOVAL REQUIREMENTS".
  - NO GRADING OR EXCAVATION WILL BE PERMITTED WITHIN THE DRILLPIE OF THE THREE PINE TREES WHICH ARE TO BE SAVED.
  - ACCORDINGLY, STAFF RECOMMENDS THE APPLICANT REVISE PLANS PROPOSED CATCH BASIN AT THE NORTHWEST CORNER OF THE BUILDING TO THE SOUTHWEST CORNER OF THE BUILDING, AND REVISE THE GRADE OF THE RETENTION AREA.
  - SIGNAGE. THE APPLICANT SHALL BE LIMITED TO THE FOLLOWING SIGNAGE:
    - ONE FREESTANDING SIGN, A MAXIMUM OF 8 FEET HIGH, AND 48 SQUARE FEET IN AREA.
    - ONE TENANT SIGN PIER BAY, EACH SIGN A MAXIMUM OF 6 SQUARE FEET.
  - OUTDOOR STORAGE. THE FOLLOWING ITEMS/USES SHALL BE PROHIBITED OUTSIDE THE CONFINES OF THE PRINCIPAL STRUCTURE OR PLACEMENT ON THE EXTERIOR PORTIONS OF THE SUBJECT PROPERTY:
    - FOOD SERVICE/DRINK/VENDING OR OTHER SIMILAR FOOD DISPENSING UNITS/MACHINES.
    - OTHER VENDING MACHINES DISPENSING ALL TYPES OF MERCHANDISE, PRODUCTS, GOODS, HANDBILLS, ADVERTISING MAGAZINES, ETC.
    - PUBLIC TELEPHONES SHALL BE EXEMPT FROM THESE PROVISIONS.
  - MISCELLANEOUS. INDICATE THE PLACEMENT OF AIR-CONDITIONING UNITS ON VIEW FROM ALL PUBLIC RIGHTS-OF-WAY AND RESIDENTIAL NEIGHBORHOODS.
  - SUBMIT A STATEMENT INDICATING THE PROPOSED DEVELOPMENT MEETS THE REQUIREMENTS OF CHAPTER 13, ARTICLE IV OF THE TOWN CODE, ENTITLED "NOISE".



48 HOURS BEFORE DIGGING  
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1-800-432-4770  
CALL SUNSHINE  
NOTIFICATION CENTER

REVISIONS  
JUN -3 2003  
TOWN OF JUPITER  
BUILDING DIVISION

LEGEND	
Ø19.7	PROP PAV'T EL
Ø	EXIST EL
CONTRACTOR TO FIELD VERIFY	
INV EL	INVERT EL
BE	BOTTOM EL
TE	TOP EL
EXF	EXFILTRATION TRENCH
TC	TOP OF CONCRETE
WM	WATER MAIN
FM	FORCE MAIN
WV	WASTEWATER GRAVITY
FD	FIRE HYDRANT
GV	GATE VALVE
SC	SIAMENSE CONN.
CV	CHECK VALVE
DD	DOUBLE DETECTOR
CV	CHECK VALVES
WM	WATER METER W/ REDUCED PRESSURE
BP	BACKFLOW PREV.
SP	SAMPLE POINT
MES	MITERED END SECTION
F.F.E.L	FIN FLOOR ELEV
F.L.E.L	FLOW LINE ELEV
TDB	TOP OF BANK
TDS	TOP OF SLOPE

12/05/02

**Jeff H. Iravani, Inc.**  
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JUPITER PARK OF COMMERCE  
LOT 18

JUPITER

WATER & WASTEWATER PLAN

DATE: 07-31-2002

SCALE: 1"=20'

DESIGNED BY: JHI

DRAWN BY: PAD

SEAL

JOB NO: 0105-629

SHEET NO: C-4

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING ABOVE GROUND, UNDERGROUND, AND ON THE SURFACE STRUCTURES AND UTILITIES AGAINST THE CONSTRUCTION OPERATION THAT MAY CAUSE DAMAGE TO SAID FACILITIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED TESTS TO BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY APPROVED BY THE ENGINEER.
3. THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS PRIOR TO ANY REQUIRED INSPECTIONS AND SHALL SUPPLY ALL EQUIPMENT NECESSARY FOR INSPECTION AND/OR TEST.
4. THE CONTRACTOR SHALL GIVE ADEQUATE NOTIFICATION TO ALL AFFECTED UTILITY OWNERS FOR REMOVAL, RELOCATION AND ALTERATION OF THEIR EXISTING FACILITIES.
5. WHERE ENCOUNTERED, UNSUITABLE MATERIAL SHALL BE REMOVED TO A DEPTH AN AREA DETERMINED BY THE ENGINEER AND BACKFILLED WITH CLEAN GRANULAR SAND OR SELECT MATERIAL APPROVED BY THE ENGINEER. BACKFILLING SHALL BE IN LAYERS NOT GREATER THAN 8" THICKNESS AND COMPACTED TO 100 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO 199-C. FILL UNDER BUILDING SHALL BE PLACED IN ACCORDANCE WITH SOIL ENGINEER'S RECOMMENDATIONS.
6. ALL WORK SHALL BE PERFORMED IN A WORKMANSHIP MANNER AND SHALL MEET WITH ALL APPLICABLE CITY, COUNTY, STATE, AND FEDERAL REGULATIONS AND/OR CODES, INCLUDING OSHA.
7. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND/OR LICENSES TO COMMENCE CONSTRUCTION.
8. ALL CONCRETE SHALL DEVELOP A 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI OR OTHERWISE NOTED.
9. ALL REINFORCING STEEL SHALL CONFORM TO ASTM-615 AND HAVE A TENSILE STRENGTH OF 60,000 PSI OR OTHERWISE NOTED.
10. THE CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE THAT PROJECT HAS BEEN ACCEPTED. ALL FAULTY CONSTRUCTION AND/OR MATERIALS DURING FORESAID PERIOD SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

**DRAINAGE**

1. ALL DRAINAGE STRUCTURES SHALL BE CONSTRUCTED AS PER DETAIL AND IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. PIPE TRENCH SHALL BE DRY WHILE PIPE IS BEING LAID AND TO BE BEDDED PER DETAIL AND IN CONFORMANCE WITH SECTION 430, FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
3. PIPE TRENCHES TO EXCAVATED AND BACKFILL IN ACCORDANCE WITH SECTION 125, FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
4. THE FOLLOWING PIPES SHALL CONFORM WITH THE APPROPRIATE FOLLOWING SECTIONS OF FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION:
  1. REINFORCED CONCRETE PIPE (RCP) - SECTIONS 430 AND 941
  2. CORRUGATED ALUMINUM PIPE (CAP) - SECTIONS 430 AND 945
  3. CORRUGATED STEEL PIPE (CMP) - SECTIONS 430 AND 943
5. ALL CORRUGATED PIPES SHALL BE INSTALLED WITH MAXIMUM LENGTHS IN ORDER TO MINIMIZE JOINTS.
6. ALL CONNECTION BANDS, FOR CORRUGATED PIPES, SHALL BE CORRUGATED, LAP-TYPE, IN CONFORMANCE WITH AASHTO M-196, AND TO BE MADE WATER-TIGHT BY USING A GASKET AT LEAST SIX (6) INCHES WIDE BY 3/4" THICK.

**ROADWAY**

1. SUBGRADE SHALL BE AS SHOWN ON SECTION.
2. BASE SHALL BE AS SHOWN ON SECTION, HAVE A MINIMUM LBR 100 AND TO BE COMPACTED TO 98 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO-180.
3. PRIME COAT SHALL BE APPLIED AT THE RATE OF .15 GALLON PER SQ. YARD, WHERE REQUIRED, TACK SHALL BE APPLIED AT THE RATE OF .08 GALLON PER SQUARE YARD.
4. THE CONTRACTOR IS TO SUBMIT ALL REQUIRED TESTS ON SUBGRADE, BASE AND SURFACE COURSE MATERIAL PRIOR TO ANY REQUEST FOR PAYMENT.
5. IF ANY TEST FAILS TO MEET THEIR SPECIFICATIONS, THE CONTRACTOR, AT HIS EXPENSE, SHALL CORRECT ALL DEFICIENT WORK AND SUBMIT TEST RESULTS INDICATING COMPLIANCE WITH THESE SPECIFICATIONS PRIOR TO ANY REQUEST FOR PAYMENT.
6. ALL UNDERGROUND UTILITIES WITHIN ROADWAY CONSTRUCTION SHALL BE INSTALLED PRIOR TO ROAD CONSTRUCTION.
7. ALL ROADWAY CONSTRUCTION AND MATERIAL SHALL CONFORM TO THE APPLICABLE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
8. ALL CURBSING, AND RAISED SIDEWALK IF SHOWN, SHALL BE CONSTRUCTED PRIOR TO ASPHALT PAVING.

**CONSTRUCTION INSPECTION CHECKPOINTS**

- ROADWAY, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR INSPECTION AT THE FOLLOWING CHECKPOINTS:
1. PRIOR TO ANY DEVIATION FROM THE APPROVED GRADING, PAVING, AND DRAINAGE PLANS.
  2. PRIOR TO BACK FILLING OF TRENCHES CONTAINING HYDRAULIC CONDUITS, SO THAT JOINTS MAY BE INSPECTED.
  3. UPON COMPLETION OF THE SUBGRADE COMPACTION.
  4. AT THE TIME OF DELIVERY OF BASE MATERIAL.
  5. UPON COMPLETION OF THE BASE AND PRIOR TO PRIMING.
  6. IMMEDIATELY PRIOR TO AND DURING THE FIRST APPLICATION OF THE MIXES WEARING SURFACE.
  7. UPON COMPLETION OF CONSTRUCTION A FINAL INSPECTION MAY BE MADE WITH THE CONTRACTOR.

**STRIPING**

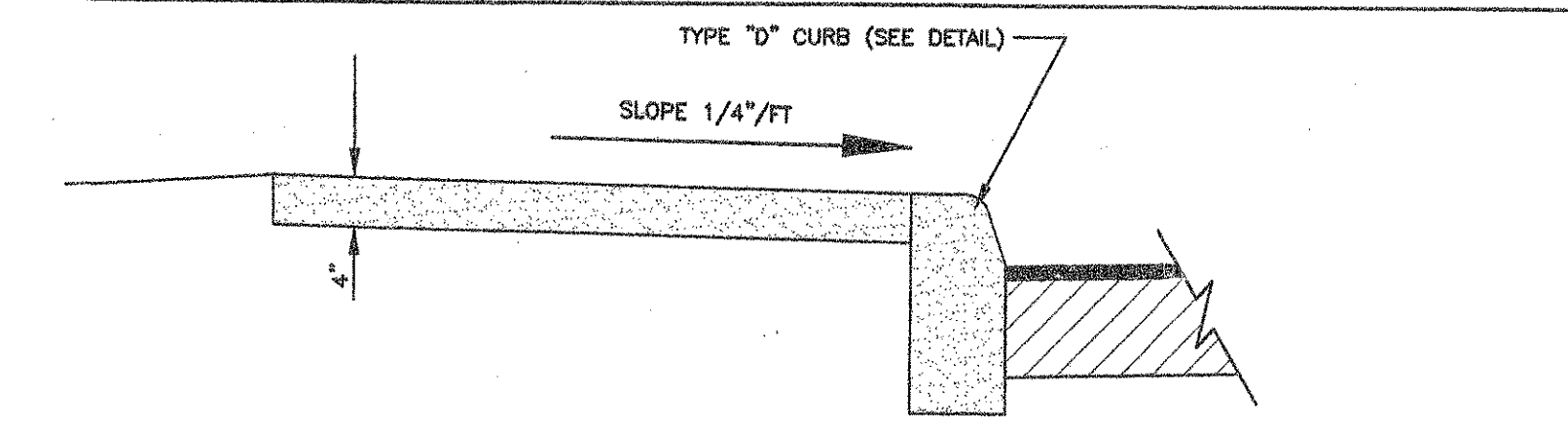
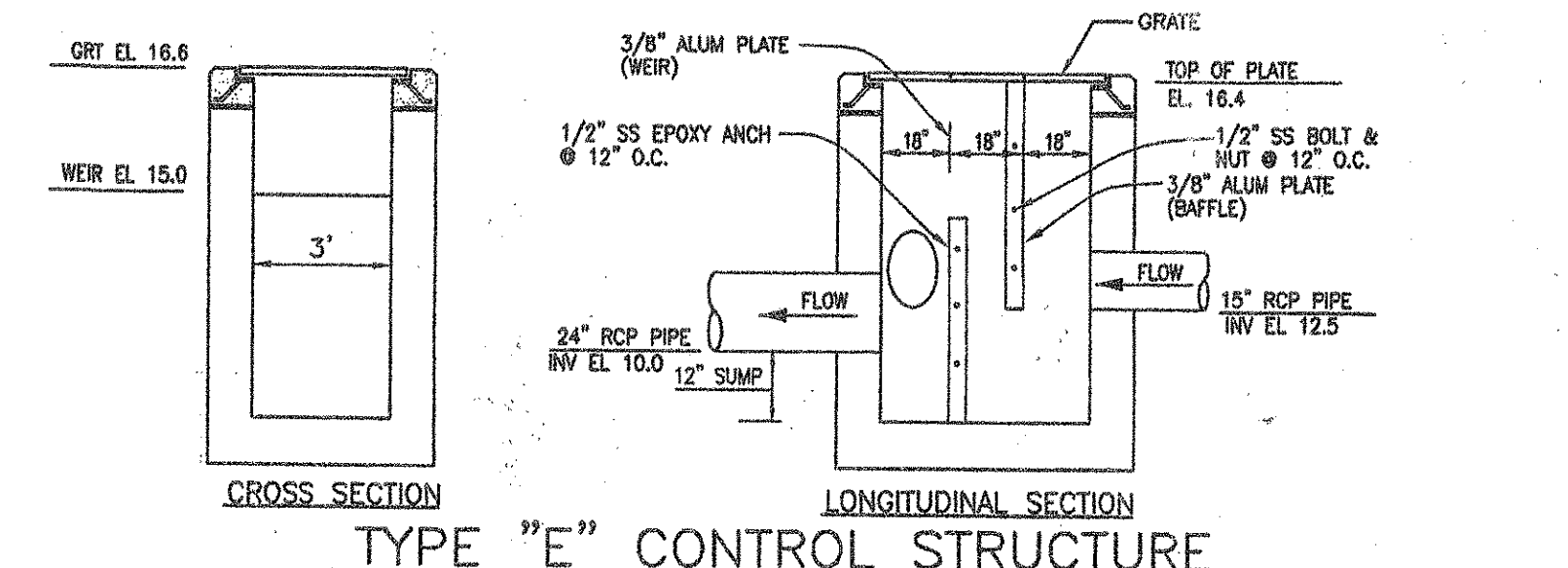
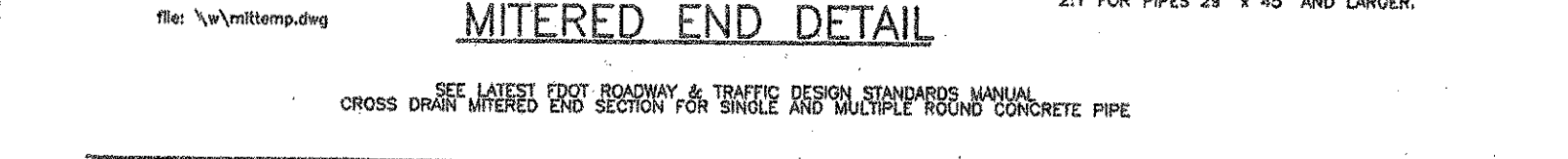
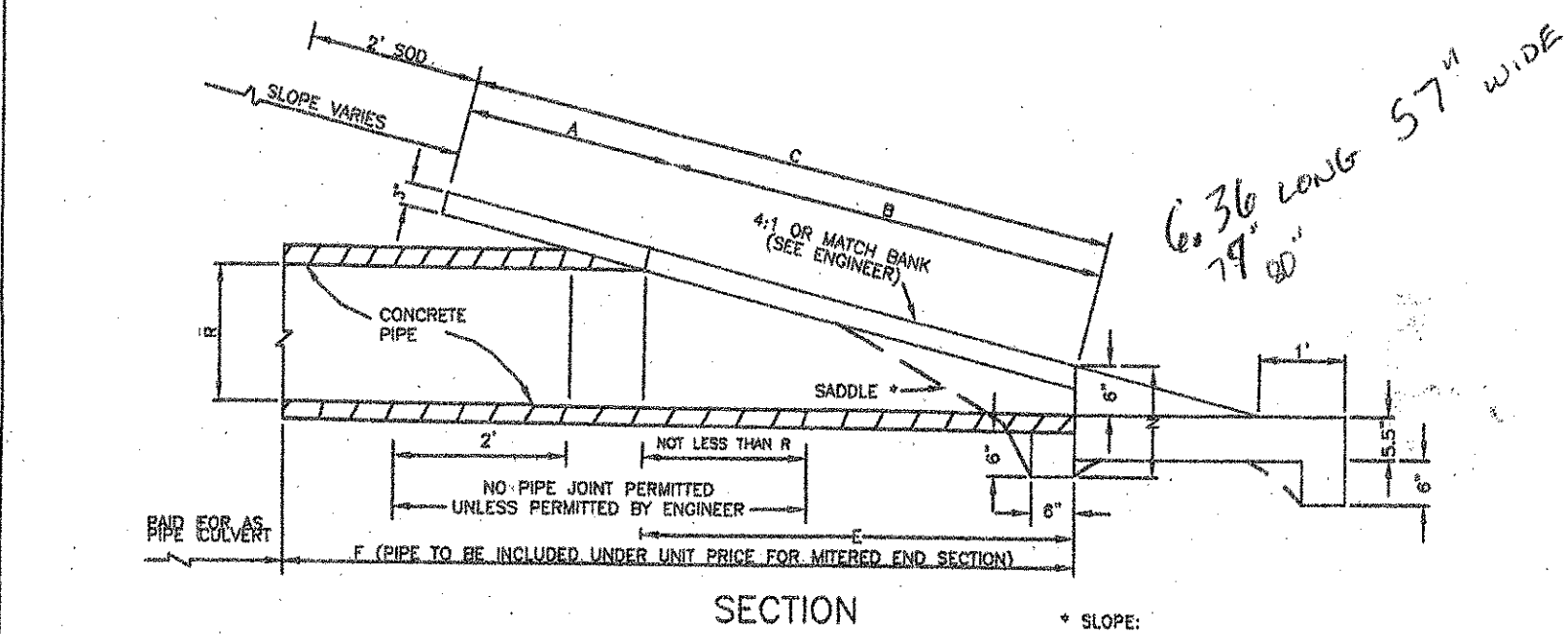
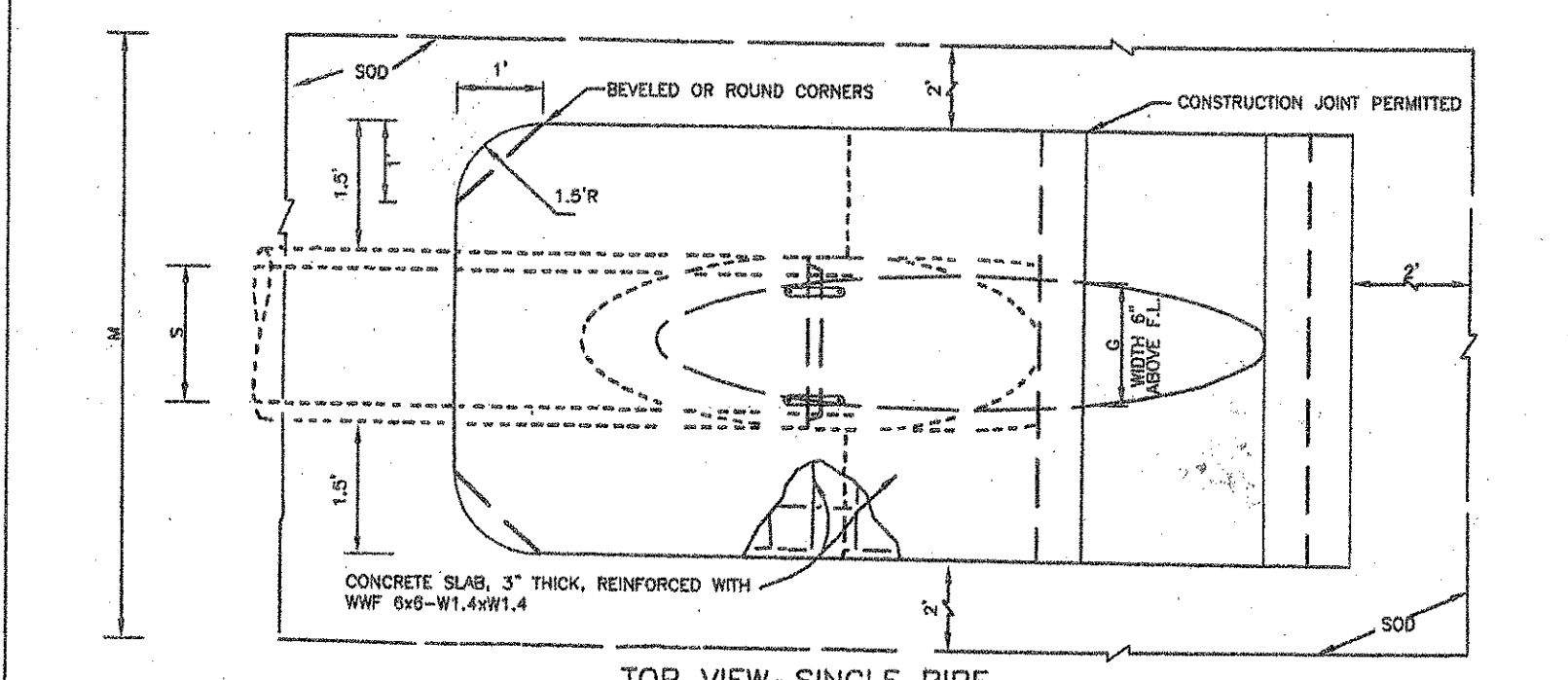
1. ALL PAVEMENT STRIPING SHALL BE TRAFFIC PAINT IN ACCORDANCE WITH FDOT INDEX 15347. STRIPINGS FOR PEDESTRIAN CROSSING AND STOP BARS SHALL BE THERMOPLASTIC IN ACCORDANCE WITH FDOT INDEX 15347.

**TOWN OF JUPITER ENGINEERING DEPARTMENT STANDARD FOR BACKFILL PLACEMENT, DENSITY TESTING AND SOIL STABILIZATION REQUIREMENTS:**

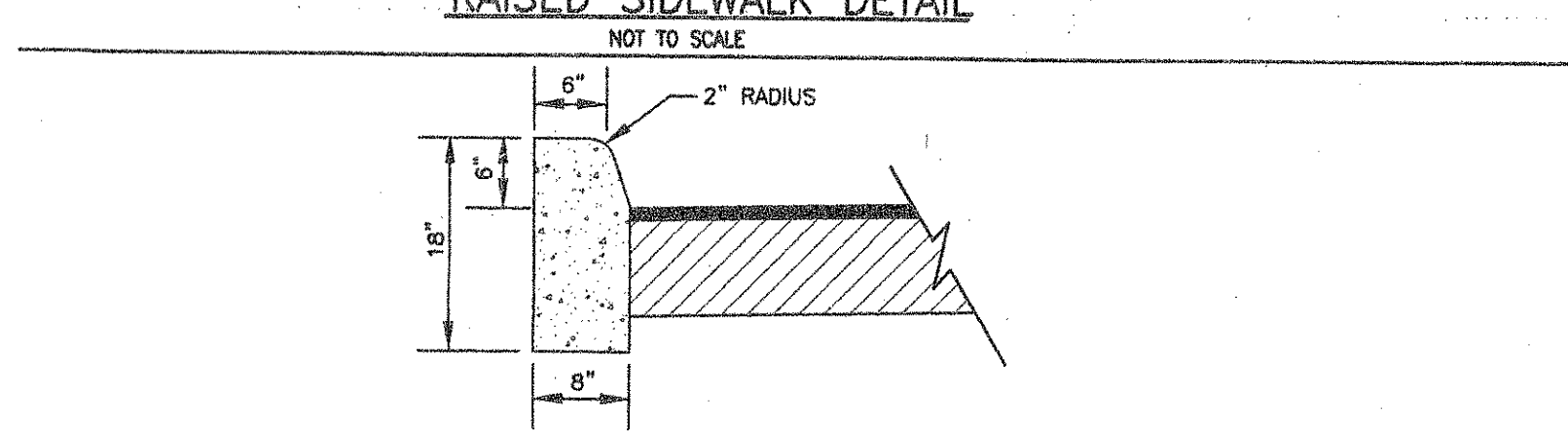
1. Typical backfill lifts shall not exceed 12 inches. Thicker lifts are acceptable provided:
  - a. An alternative placement and compaction methodology is prepared and submitted for review by Town Engineering and Stormwater Department Staff. Methodology shall define maximum lift thickness, equipment to be used for compaction, rolling pattern and number of passes, and other applicable information.
  - b. Alternative method is performed on a test strip/area and densities are verified for full depth of lift via dig down and nuclear density for each 12 inches.
2. Vertical distribution of density testing - Nuclear density compaction tests are to be taken on every lift placed (12" maximum thickness), starting with the soil at the springline of utility or at base of any structure, and proceeding upward to grade, at the locations defined in item 3 below. If thicker lifts are approved and implemented, density testing shall be performed via dig downs to sufficient depth to test each 12 inches for the full thickness of lift.
3. Horizontal distribution of density testing - Density testing shall be performed at the following minimum locations/horizontal spacing per the vertical distribution noted in item 2 above:
  - a. Pipe trenches - Tests shall be performed at randomly selected locations within each 300 foot interval (maximum) along the length of a pipe installation, and between each set of structures separated by less than 300 feet. At least one test shall be performed for every 12 inches, starting with the first test performed at springline (covering the 12" layer below springline elevation).
  - b. Structures - Tests shall be performed at each manhole or drainage structure. At least one test shall be performed for every 12 inches, starting with the first test performed at base of structure (covering the 12" layer below base elevation). Tests should alternate from corner to corner or side to side around structure with each 12 inch increment.
  - c. Subgrade - Tests shall be performed at randomly selected locations within each 300 foot interval (maximum) along the length of roadway, sidewalk or pathway, and every 6000 square feet of parking area.
  - d. Base Rock - Tests shall be performed at randomly selected locations within each 300 foot interval (maximum) along the length of the roadway, sidewalk or pathway, and every 6000 square feet of parking area.
  - e. Road Crossings - Tests shall be performed for each 12 inch lift within any open cut road crossing location.
4. Soil stabilization - The soils in the Jupiter area require proper soil stabilization mix designs and stringent quality control of field mixing application of the design mix in order to obtain an effective stabilize soil, particularly if lime sludge material is used. Construction specifications should require that the soil be sampled and mix design(s) prepared and tested by a testing lab. The mix design should be specified or otherwise administered closely during field installations or construction, including performance of Proctor LBR tests. Stabilized subgrade shall, at a minimum, be tested to meet a minimum of LBR 40 value, in addition to FBV 75.
5. Asphalt - Roadway and parking area asphalt shall be tested to meet a minimum of 94 % of the maximum laboratory density for the asphalt mix design. Testing may be done by core sampling or nuclear gauge density testing. For roadway asphalt, testing shall be at maximum 300 linear foot and 6000 square foot intervals. For parking areas, density testing shall be based on maximum 5000 square foot intervals. Should density testing indicate failure to meet the 94% minimum density, then additional localized testing will be required around the failure location to determine the extent of installation or surface conditions. Core samples will be required to substantiate the specified compacted asphalt thickness has been constructed. For roadways, the Town reserves the right to request additional testing based on physical observation of the asphalt installation or surface conditions. Core samples will be required to substantiate the specified compacted asphalt thickness has been constructed. For roadways, the Town reserves the right to request rolling straightedge testing on the travel lanes, in accordance with FDOT Specifications.

D	X	A	B	C	E	F	G	M				N	GRATE	
								SINGLE PIPE	DOUBLE PIPE	TRIPLE PIPE	QUAD PIPE			STANDARD WEIGHT PIPE
18	22	27	32	37	42	47	52	57	62	67	72	77	82	87
24	28	33	38	43	48	53	58	63	68	73	78	83	88	93
30	34	39	44	49	54	59	64	69	74	79	84	89	94	99

△ 6.42' △ 6.25' DIMENSIONS PERMITTED TO ALLOW USE OF 8" STANDARD PIPE LENGTHS.  
 ◇ 10.40' ◇ 10.10' DIMENSIONS PERMITTED TO ALLOW USE OF 12" STANDARD PIPE LENGTHS.  
 △◇ CONCRETE SLAB SHALL BE DEEPENED TO FORM BRIDGE ACROSS CROWN OF PIPE. SEE SECTION BELOW.



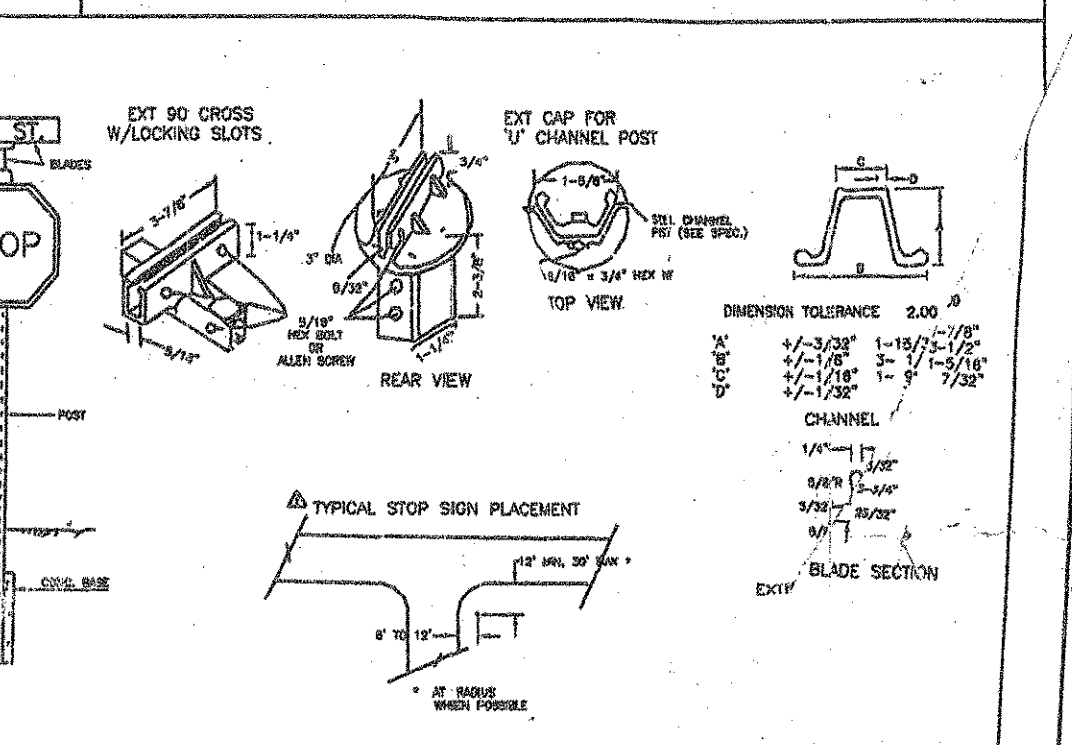
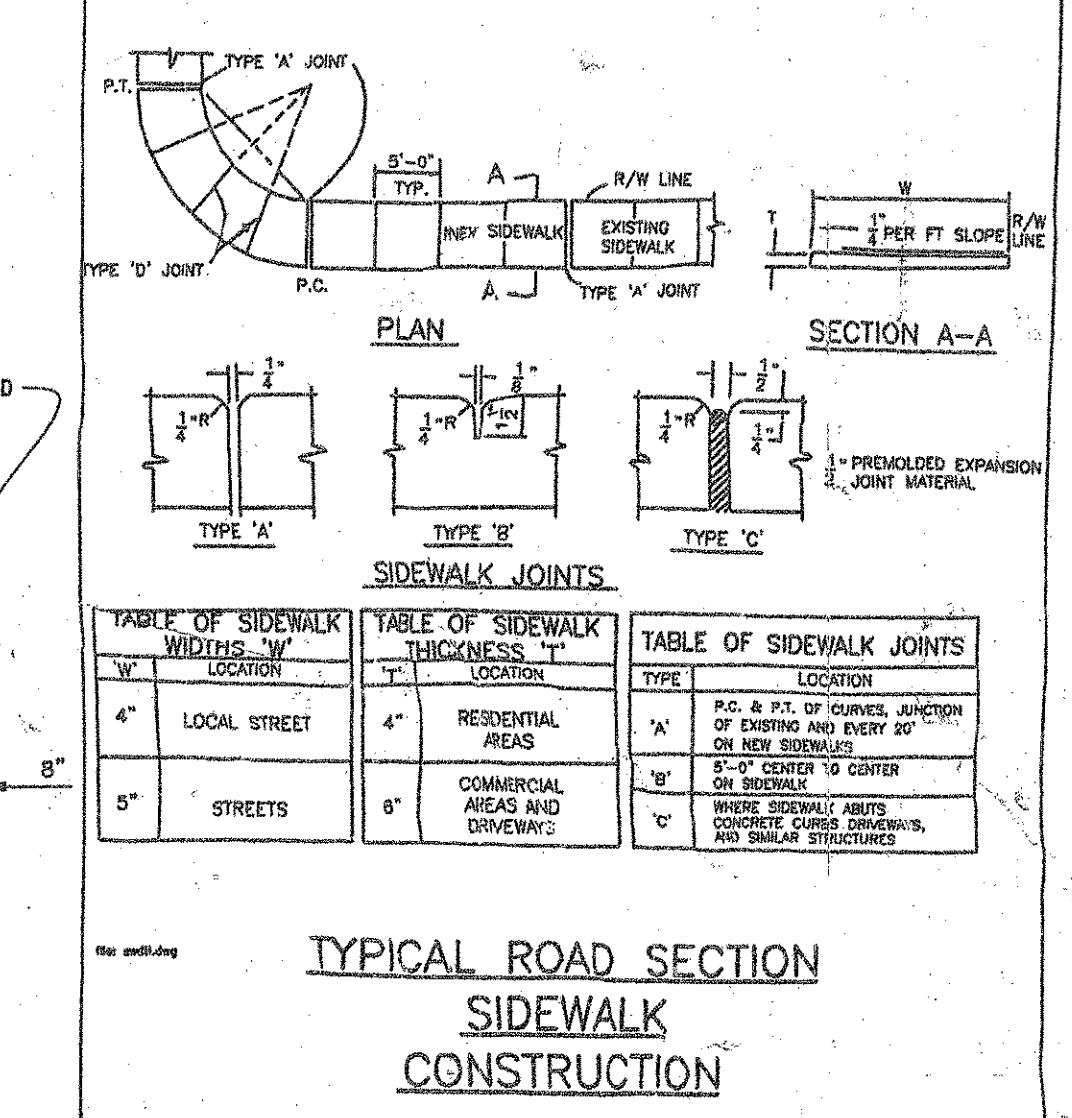
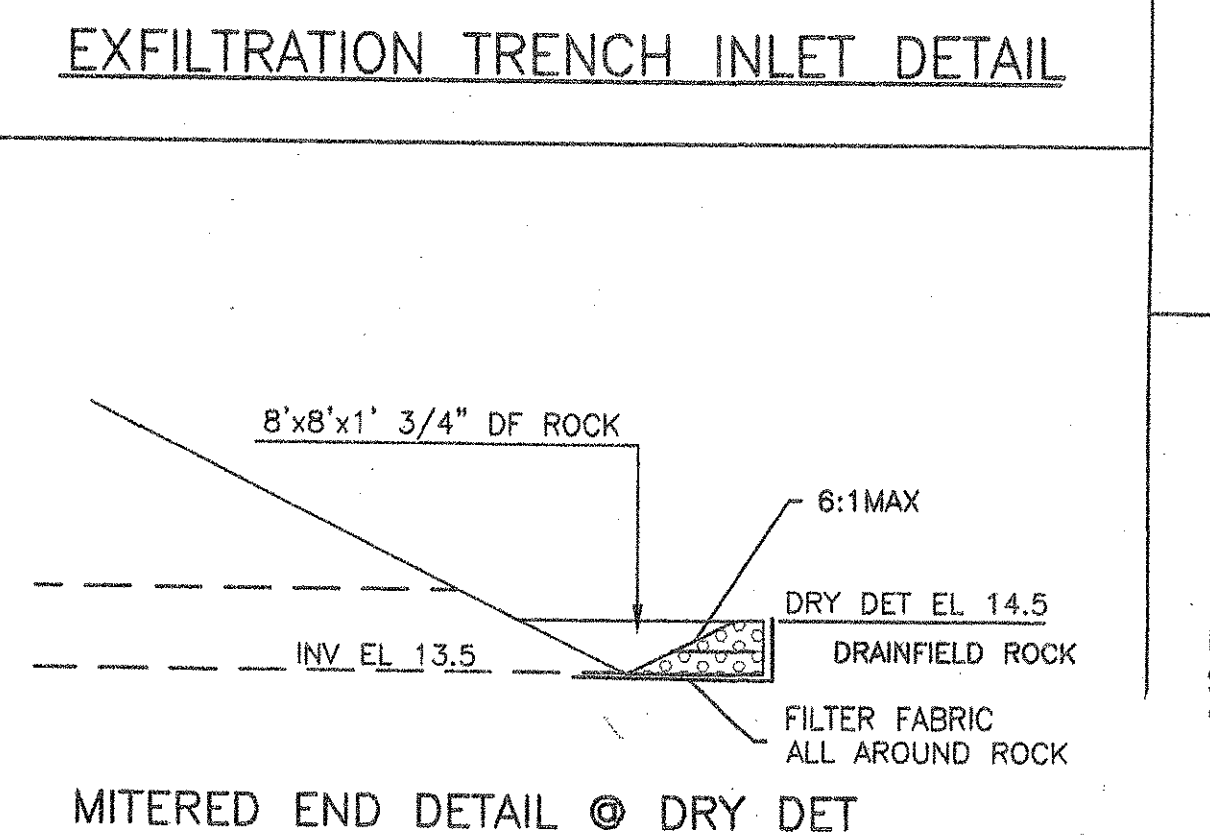
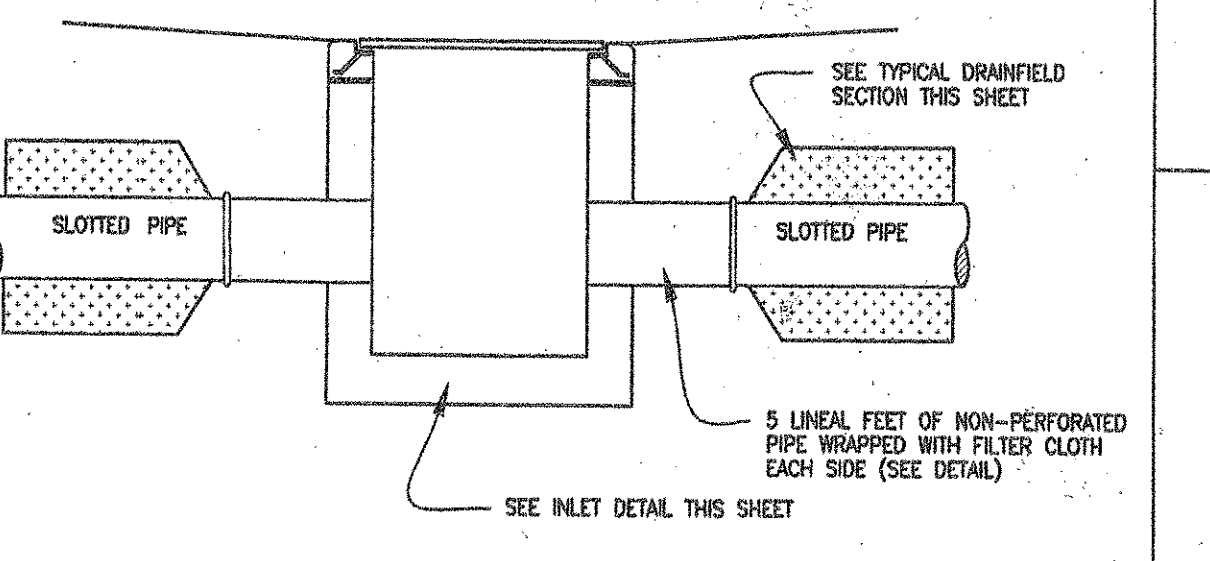
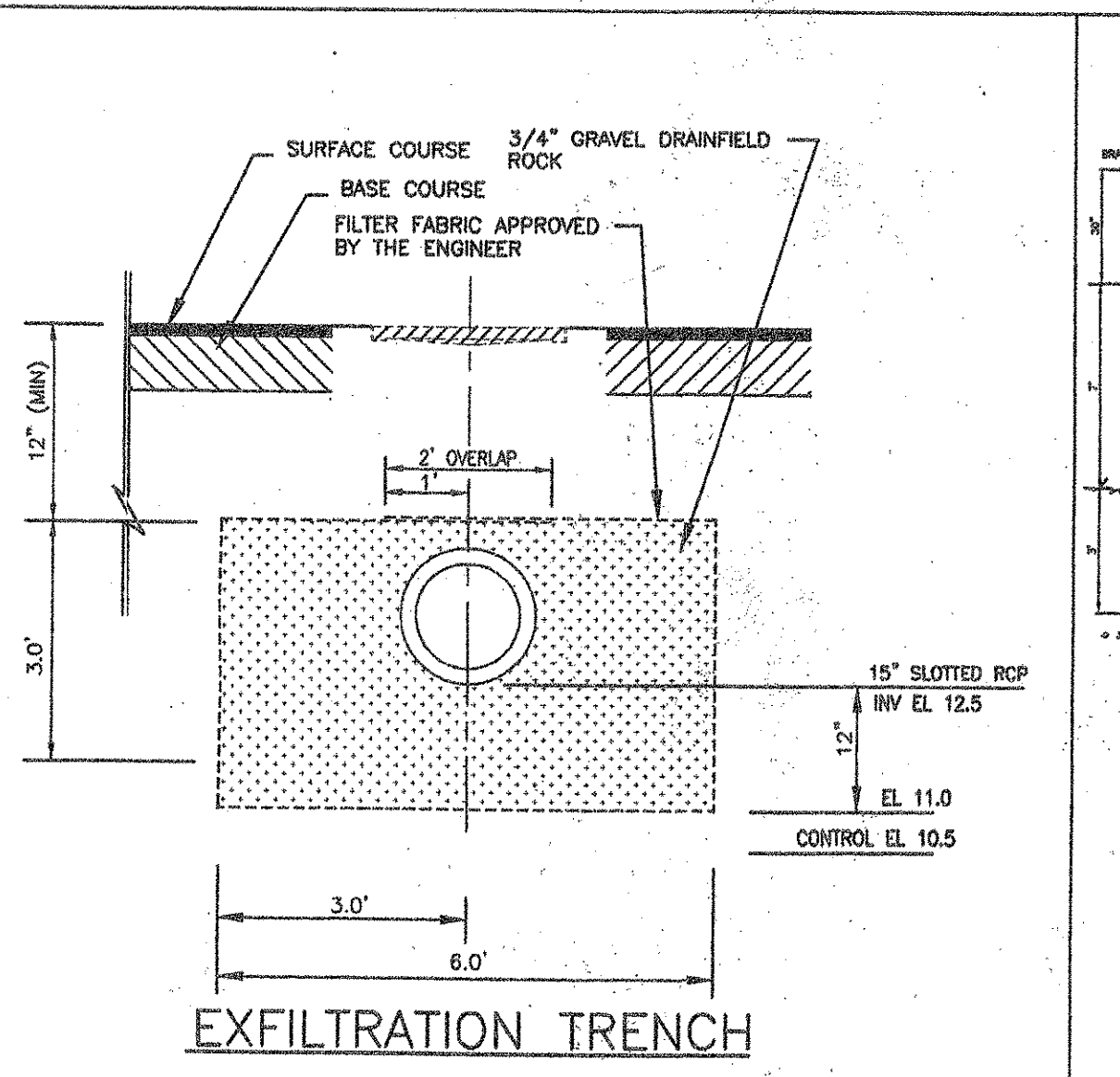
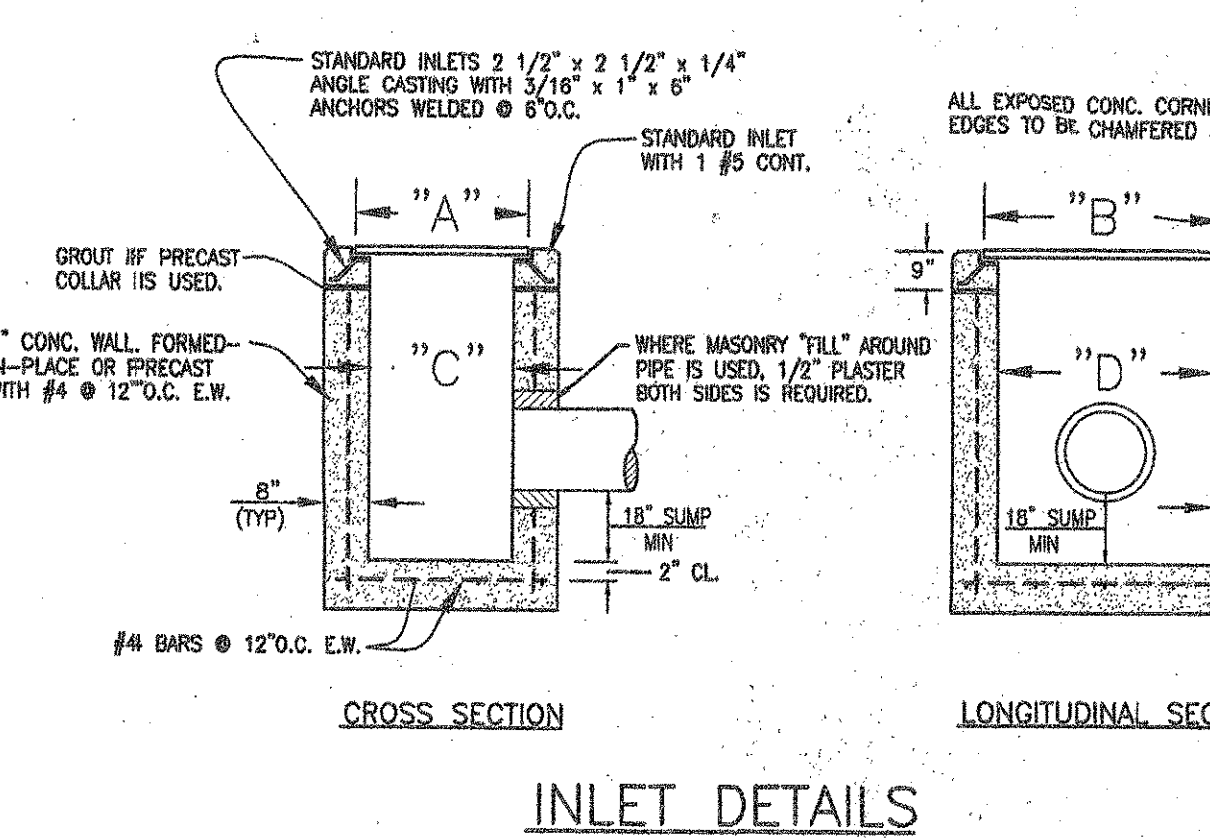
- NOTES:**
1. SIDEWALK TO BE POURED AFTER CURB CONSTRUCTION.
  2. CONCRETE TO BE A MINIMUM OF 3,000 P.S.I. MINIMUM.
  3. CURB TO BE IN PLACE PRIOR TO SURFACE COURSE BEING PLACED.
  4. SAWCUTS TO BE MADE AT 10' O.C. THROUGHOUT CURB CONST.



- NOTES:**
1. SEE F.D.O.T. INDEX NO. 300 FOR ADDITIONAL INFORMATION.
  2. CONCRETE TO BE A MINIMUM OF 4000 PSI CONCRETE AT 28 DAYS W/ EPOXY SURFACE.
  3. CURB TO BE IN PLACE PRIOR TO SURFACE COURSE BEING PLACED.
  4. SAWCUTS TO BE MADE AT 10' O.C. THROUGHOUT CURB CONST.

**TYPE "D" CURB DETAIL**  
NOT TO SCALE

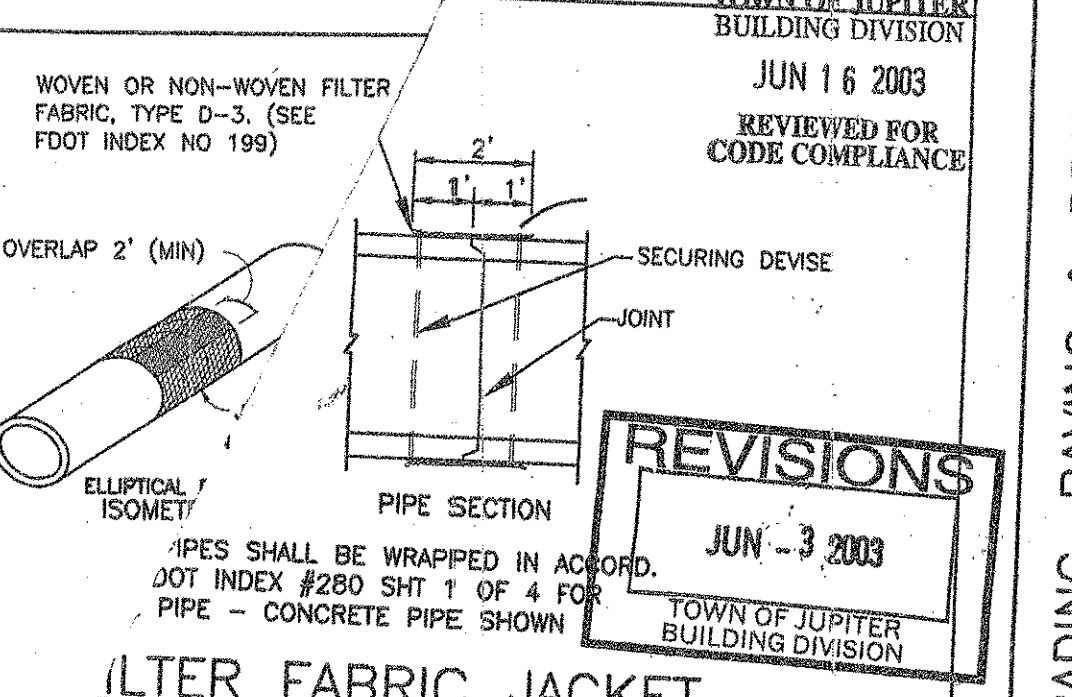
MAX. C.F.S.	TYPE INLET	"A"	"B"	"C"	"D"	GRATE APPROX. WT.
18.65	C	2'-4"	3'-0"	2'-0"	3'-1"	235 LBS.
23.49	D	2'-4"	3'-0"	2'-0"	3'-1"	280 LBS.
35.23	E	3'-4"	4'-0"	3'-0"	4'-6"	485 LBS.
56.20	H	3'-4"	4'-0"	3'-0"	6'-7"	725 LBS.



**GENERAL SPECIFICATIONS**

EXT. BLADE: ALCOA # 86054.6083-T6 ALLOY, ET'6 BACKGROUND OR # 1200 ALODINE FINISH WITH # 2277 GREEN SC EQUAL DIMENSIONS -- 6" h, 24", 30" OR 36" (SILVER) OR EQUAL. LETTER: NAME - 4" SERIES "B" # 2270, SCOTCH SUFFIX - 2" SERIES AS ABOVE.

BRACKETS: SEE DETAILS THIS SHEET / GREEN ALDYO FINISH POST: STEEL FLANGED CHANNEL POST WITH SEE DETAIL SHEET. PER A.S.T.M. - A-123 WITHOUT ANCHOR F CONC. BASE: 2000# AS SHOWN (DENSITY) STOP SIGN: R1-1MUTCD 30" 30" (43" ON THE PLANS. LOCATION: ONE PER INTERSECTION AS



**PAVEMENT TYP SECTION**

FLEXIBLE PAVT  
 SURFACE: 1 1/2" TYPE S-1/S-3 ACSC  
 BASE: 10" LIMEROCK / COQUINA ROCK COMP, LBR 100 MIN  
 SUBGRADE: 12" COMP  
 COMP: COMPACTED TO 98% MAX D.D. AASHTO T-180

**REVISIONS**

12/05/02	PER TOJ
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 irvani@worldnet.att.net

**JUPITER PARK OF COMMERCE**  
**LOT 18**  
 JUPITER, FLORIDA

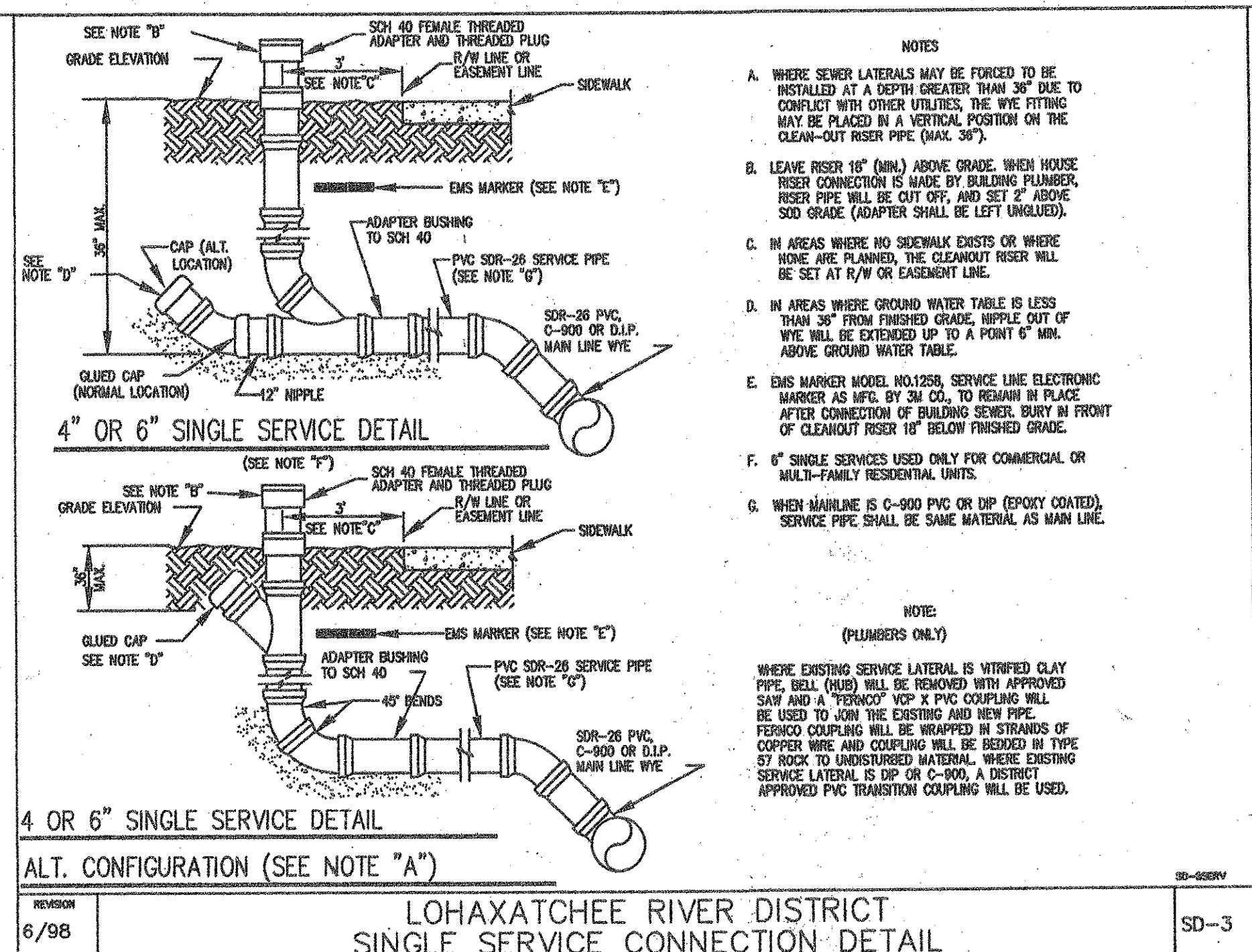
**GRADING, PAVING & DRAINAGE DETAILS**

DESIGNED BY: JHI  
 DRAWN BY: PAD  
 DATE: 12/05/02  
 SCALE: 1"=20'

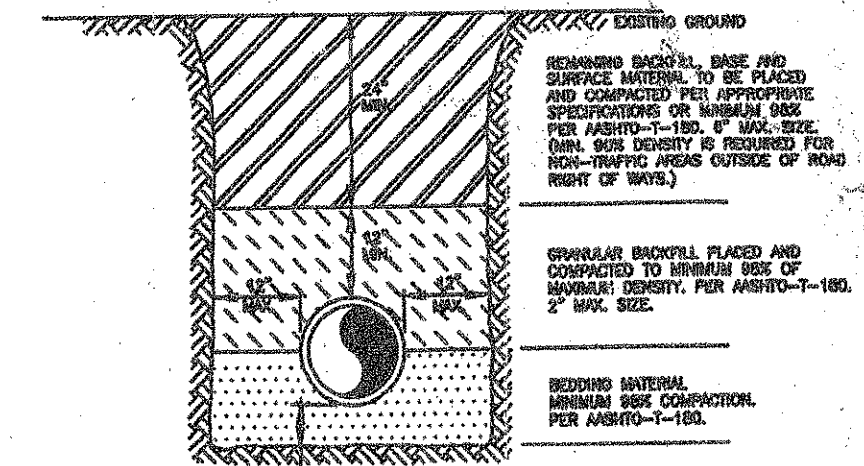
**REVISIONS**

JUN-3-2003	TOWN OF JUPITER BUILDING DIVISION
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- NOTES
- WHERE SERVICE LATERALS MAY BE FORCED TO BE INSTALLED AT A DEPTH GREATER THAN 30" DUE TO CONFLICT WITH OTHER UTILITIES, THE WYE FITTING MAY BE PLACED IN A VERTICAL POSITION ON THE CLEAN-OUT RISER PIPE (MAX. 30").
  - LEAVE RISER 18" (MIN.) ABOVE GRADE. WHEN HOUSE RISER CONNECTION IS MADE BY BUILDING PLUMBER, RISER PIPE WILL BE CUT OFF, AND SET 2" ABOVE SOD GRADE (ADAPTER SHALL BE LEFT UNLINED).
  - IN AREAS WHERE NO SIDEWALK EXISTS OR WHERE HOME HAS PLANNED, THE CLEANOUT RISER WILL BE SET AT R/W OR EASEMENT LINE.
  - IN AREAS WHERE GROUND WATER TABLE IS LESS THAN 30" FROM FINISHED GRADE, NIPPLE OUT OF WYE WILL BE EXTENDED UP TO A POINT 6" MIN. ABOVE GROUND WATER TABLE.
  - EMS MARKER MODEL NO.1258, SERVICE LINE ELECTRONIC MARKER AS MFL BY 3M CO., TO REMAIN IN PLACE AFTER CONNECTION OF BUILDING SEWER. BURY IN FRONT OF CLEANOUT RISER IF BELIEF FINISHED GRADE.
  - 6" SINGLE SERVICES USED ONLY FOR COMMERCIAL OR MULTI-FAMILY RESIDENTIAL UNITS.
  - WHEN MAINLINE IS C-900 PVC OR DIP (EPOXY COATED) SERVICE PIPE SHALL BE SAME MATERIAL AS MAIN LINE.
- NOTE:  
(PLUMBERS ONLY)  
WHERE EXISTING SERVICE LATERAL IS VITRIFIED CLAY PIPE (VCP), (VCP) SHALL BE REMOVED WITH APPROVED SAW AND A "PERIOD" VCP X PVC COUPLING WILL BE USED TO JOIN THE EXISTING AND NEW PIPE. PERIOD COUPLING WILL BE WRAPPED IN STRANDS OF COPPER WIRE AND COUPLING WILL BE SET IN TYPE 37 ROCK TO UNDISTURBED MATERIAL. WHERE EXISTING SERVICE LATERAL IS DIP OR C-900, A DISTRICT APPROVED PVC TRANSITION COUPLING WILL BE USED.



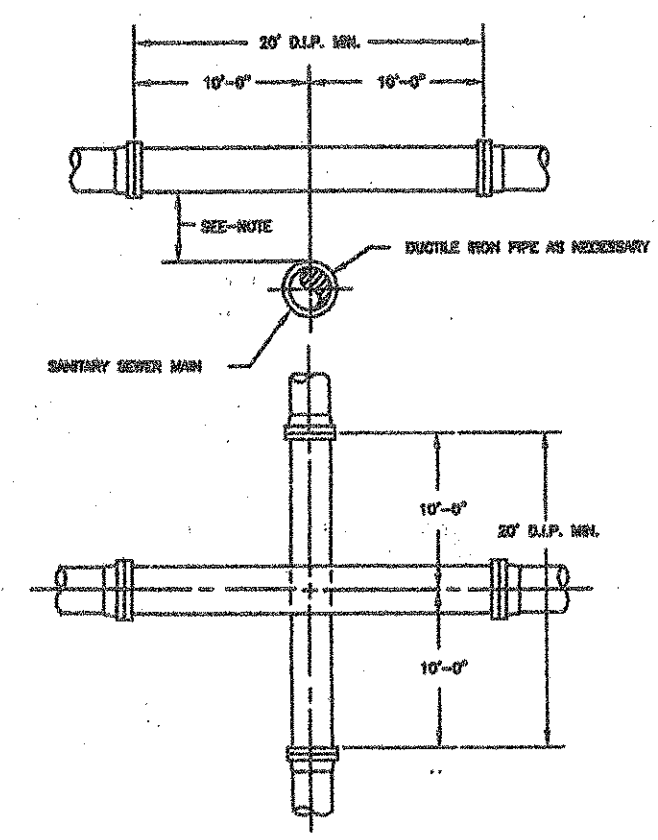
- NOTES:
- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LAMBERT 3/8" - 7/8" SIZES. UNSUITABLE IN-SITU MATERIALS SUCH AS BUCKS, DEBRIS AND LARGER ROCKS SHALL BE REMOVED.
  - THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTED UNDER THE PIPE MANHOLES.
  - THE PIPE SHALL BE PLACED IN A DRY TRENCH.
  - BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, BUCKS, AND DEBRIS.
  - DENSITY TESTS ARE REQUIRED IN 1 FOOT LIFTS ABOVE THE PIPE AT INTERVALS OF 400' MINIMUM OR AS DIRECTED BY THE INSPECTOR.
  - THE DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL APPLICABLE TRENCH-SAFETY LAWS AND REGULATIONS.
  - SEE SEPARATE DETAIL FOR PIPE INSTALLATION UNDER EXISTING PAVEMENT - OPEN CUT.
  - THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION OR AS SPECIFIED IN PERMITS/CONTRACT DOCUMENTS.

TYPICAL TRENCH DETAIL

LOHAXATCHEE RIVER DISTRICT  
SINGLE SERVICE CONNECTION DETAIL

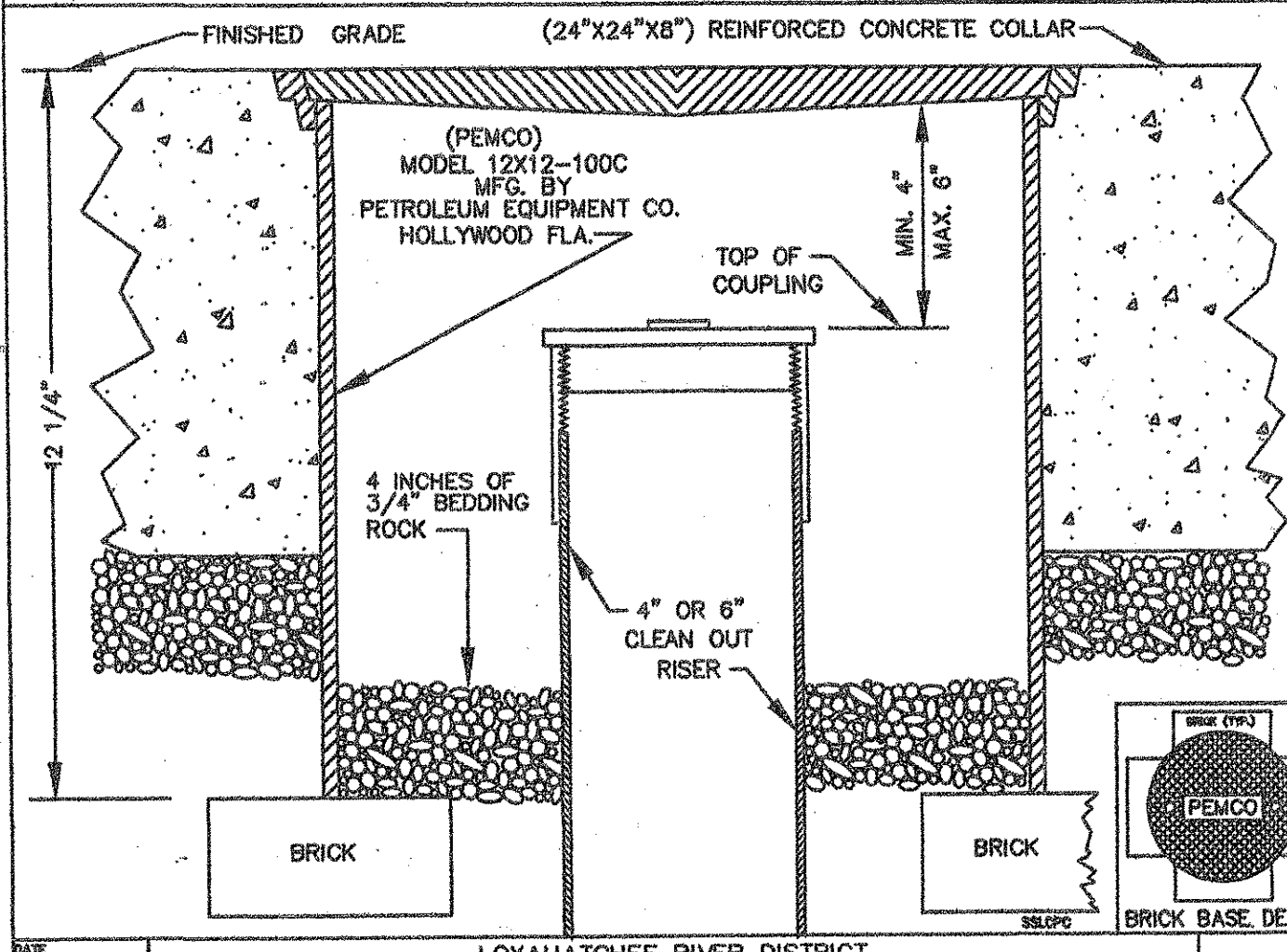
REVISION 6/98

SD-3



- NOTES:
- STORM AND SANITARY SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE UPPER PIPE AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED, THE CROSSING SHALL BE PROMISED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN JOINTS ARE EQUIVALENT FROM THE POINT OF CROSSING WITH NO LESS THAN TEN FEET BETWEEN ANY TWO JOINTS AND BOTH PIPES SHALL BE DIP. WHERE THERE IS NO ALTERNATIVE TO SEWER PIPES CROSSING OVER A WATER MAIN, THE CRITERIA FOR MINIMUM SEPARATION BETWEEN LINES AND JOINTS IN THE ABOVE SHALL BE MAINTAINED AND BOTH PIPES SHALL BE DIP. RESPECTIVE OF SEPARATION, DIP, IS NOT REQUIRED FOR STORM SEWERS.
- MINIMUM TEN FEET HORIZONTAL DISTANCE BETWEEN WATER MAIN AND STORM OR SANITARY SEWER MAIN AS A MINIMUM.
- FORCE MAIN CROSSING WATER MAIN SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF EIGHTEEN (18) INCHES. IF EIGHTEEN (18) INCHES VERTICAL SEPARATION CANNOT BE MAINTAINED, THEN THE WATERMAIN SHALL BE DIP AND THE SANITARY LATERAL, C-900 SDR18 OR BETTER AND THE MINIMUM SEPARATION SHALL BE SIX (6) INCHES.
- TOWN OF JUPITER WATER SYSTEM - REVISED JULY, 1994
- NOTE:  
SEWER SERVICE LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM VERTICAL SEPARATION OF EIGHTEEN (18) INCHES. IF EIGHTEEN (18) INCHES VERTICAL SEPARATION CANNOT BE MAINTAINED, THEN THE WATERMAIN SHALL BE DIP AND THE SANITARY LATERAL, C-900 SDR18 OR BETTER AND THE MINIMUM SEPARATION SHALL BE SIX (6) INCHES.
- WHEN IT IS NOT FEASIBLE FOR THE WATERMAIN TO CROSS OVER THE SEWER SERVICE LATERAL, A MINIMUM VERTICAL SEPARATION OF AT LEAST TWELVE (12) INCHES MUST BE MAINTAINED. THE WATERMAIN SHALL BE DIP AND THE SEWER LATERAL SHALL BE C-900 SDR-18 OR BETTER.

WATER MAIN-SANITARY SEWER CONFLICT

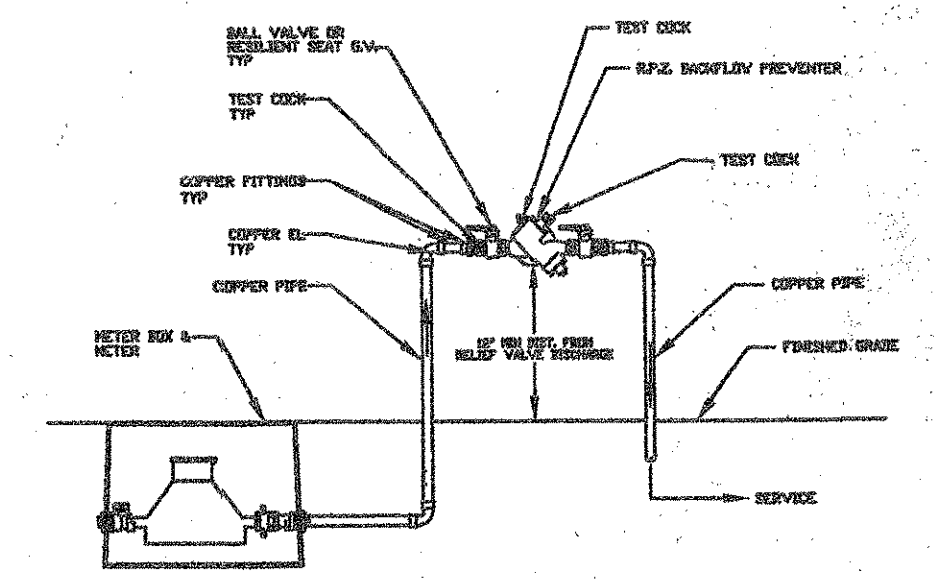


LOHAXATCHEE RIVER DISTRICT  
SANITARY SEWER LATERAL CLEAN OUT PROTECTIVE COVER  
(FOR USE IN PAVED AREAS ONLY)  
N.T.S.

DATE 9/82  
REVISION 2/98

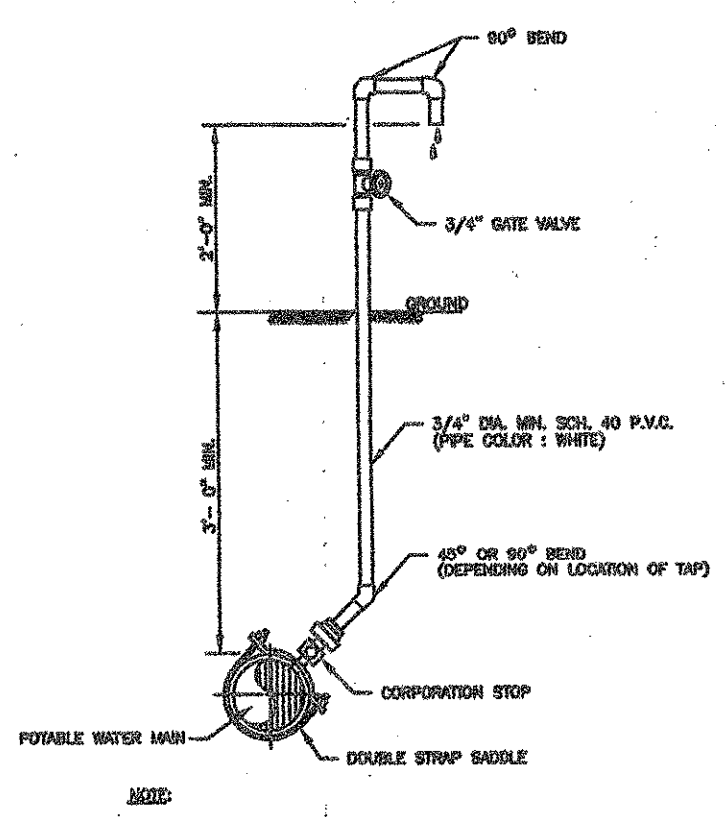
SD 1

OR R.P.Z.  
BACKFLOW PREVENTION ASSEMBLY  
USC APPROVED  
3/4", 1", 1-1/2" AND 2"  
INSTALLATION

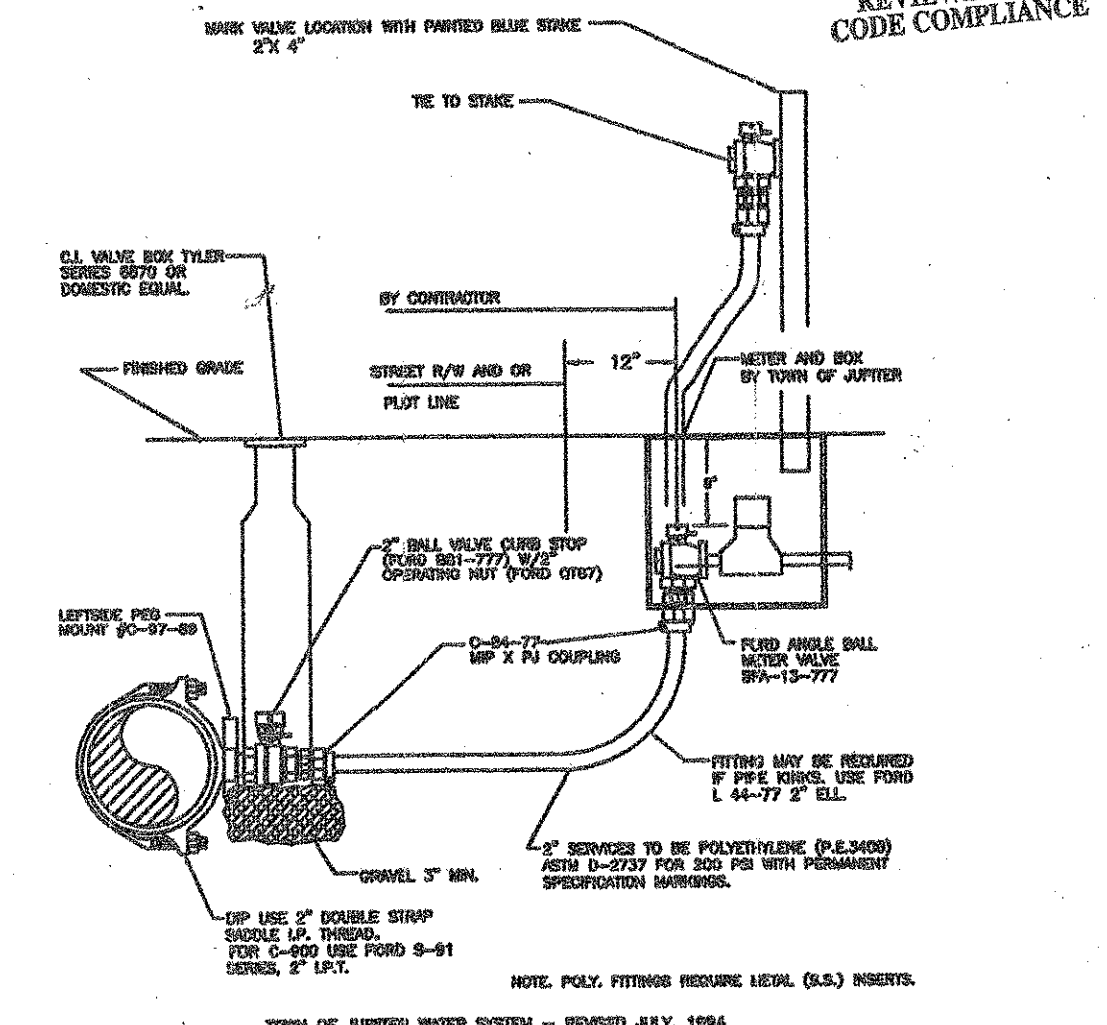


REDUCED PRESSURE ZONE  
BACKFLOW PREVENTION ASSEMBLY

POTABLE WATER MAIN TYPICAL SAMPLING POINT



- NOTE:
- SAMPLE POINT SHOULD BE A SERVICE LINE OR FIRE HYDRANT IF POSSIBLE.
  - TRAPPED AREA OF CORPORATION STOP SHALL BE OPEN, WRAPPED WITH TWO STRIPS OF TYPICAL DPC.



1-1/2" & 2" METER CONNECTION DETAIL

TOWN OF JUPITER WATER SYSTEM - REVISED JULY, 1994

REVISIONS  
JUN - 3 2003  
TOWN OF JUPITER  
BUILDING DIVISION

TOWN OF JUPITER  
BUILDING DIVISION  
JUN 16 2003  
REVIEWED FOR  
CODE COMPLIANCE

REVISIONS

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JUPITER PARK OF COMMERCE  
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WATER AND WASTEWATER  
DETAILS

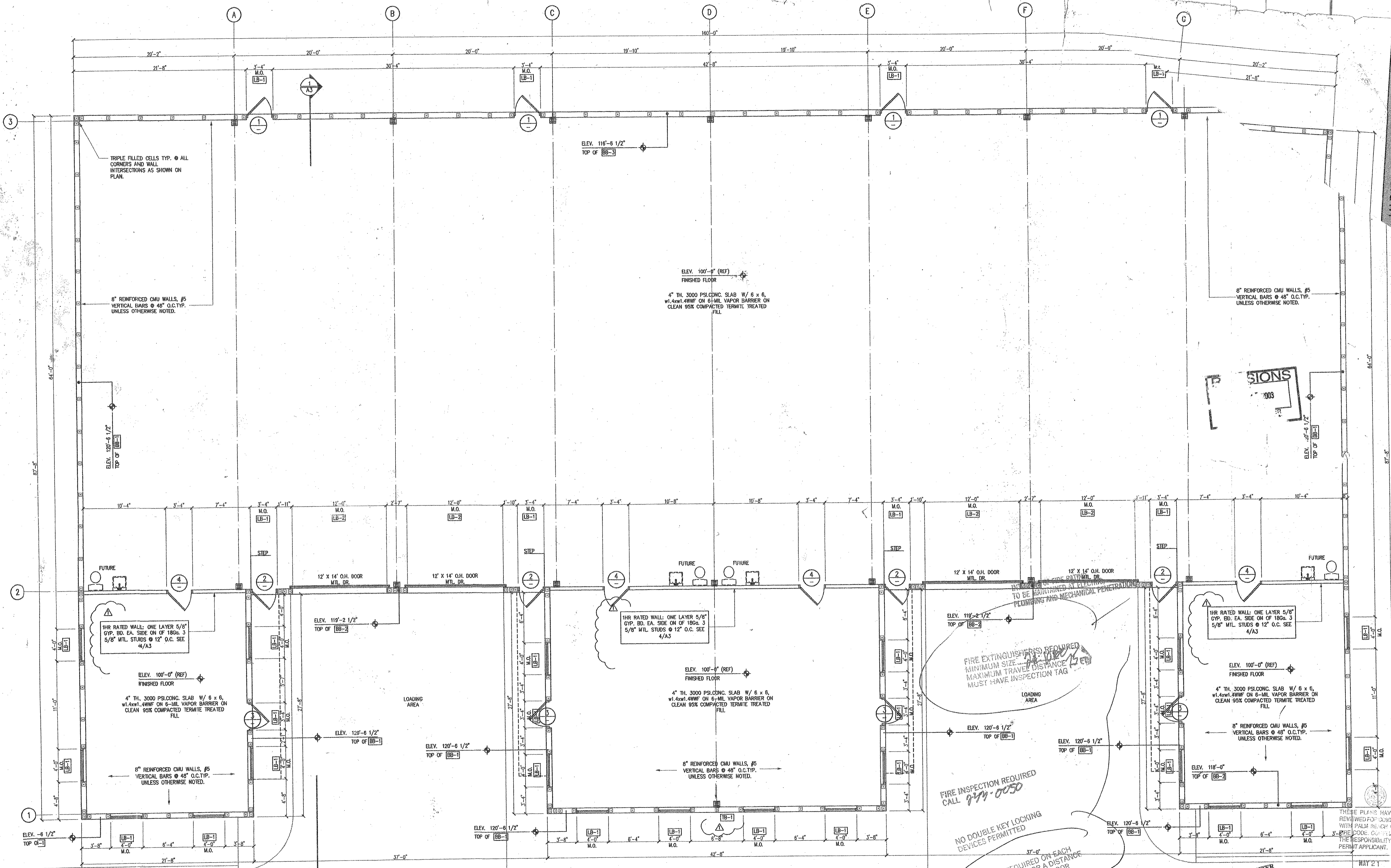
DATE 07/08/02  
SCALE 1"=20'  
DESIGNED BY JHI  
DRAWN BY PAD

SEAL

JOB NO.  
0105-629  
SHEET NO.  
C-6

08--9207

4-11-03



TOWN OF JUPITER  
 UTILITIES DEPT.  
 Approved  
 Approved As Noted  
 SUBJECT TO ALL WATER  
 SYSTEM RULES AND  
 REGULATIONS, INSTALLATION  
 REQUIREMENTS AND BACKFLOW PRE-  
 VENTION PROGRAM  
 REQUIREMENTS.  
 BY: [Signature]  
 DATE: 4/14/03  
 TOTAL ERC 3.0

Loxahatchee River  
 Environmental Control District  
 FINAL PLAN APPROVAL  
 DATE: APR 11 2003

Town of Jupiter  
 The plans have been reviewed for general compliance with the building codes. This examination is not to be construed as a check of every item in the plans and does not prevent the building official from hereafter requiring corrections of errors in plan or construction. It is the responsibility of the design professional and the permit applicant for compliance with the codes. (FBC 104.5.1)

FIRE EXTINGUISHERS REQUIRED  
 MINIMUM SIZE [unclear]  
 MAXIMUM TRAVEL DISTANCE [unclear]  
 MUST HAVE INSPECTION TAG

NO DOUBLE KEY LOCKING  
 DEVICES PERMITTED

LEVEL FLOOR REQUIRED ON EACH  
 SIDE OF EXIT DOOR FOR A DISTANCE  
 EQUAL TO THE WIDTH OF DOOR

ADDRESS NUMBERS SHALL BE  
 PROVIDED AND BE PLAINLY VISIBLE  
 AND LEGIBLE FROM THE STREET  
 AND FROM REAR OF BUILDING

TOWN OF JUPITER  
 BUILDING DIVISION  
 JUN 16 2003  
 REVIEWED FOR  
 CODE COMPLIANCE

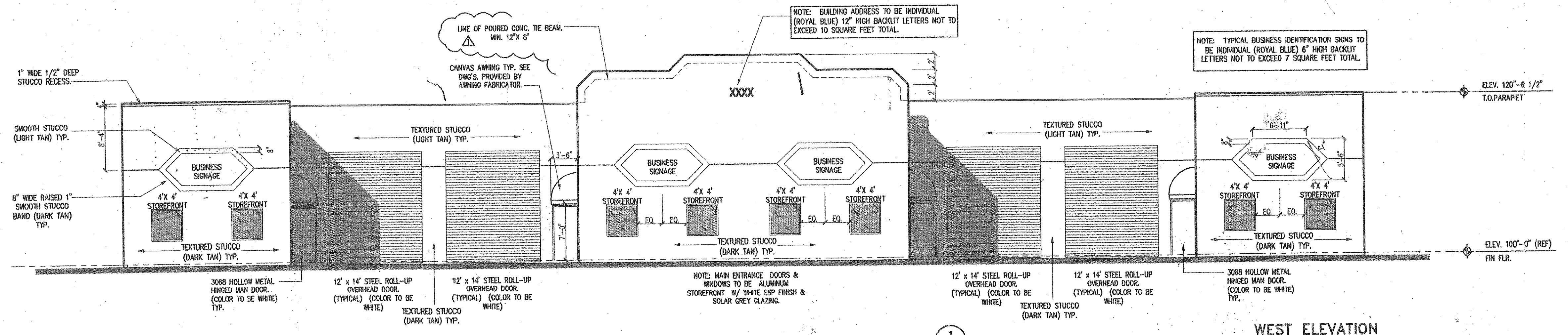
FLOOR PLAN  
 3/16" = 1'-0"



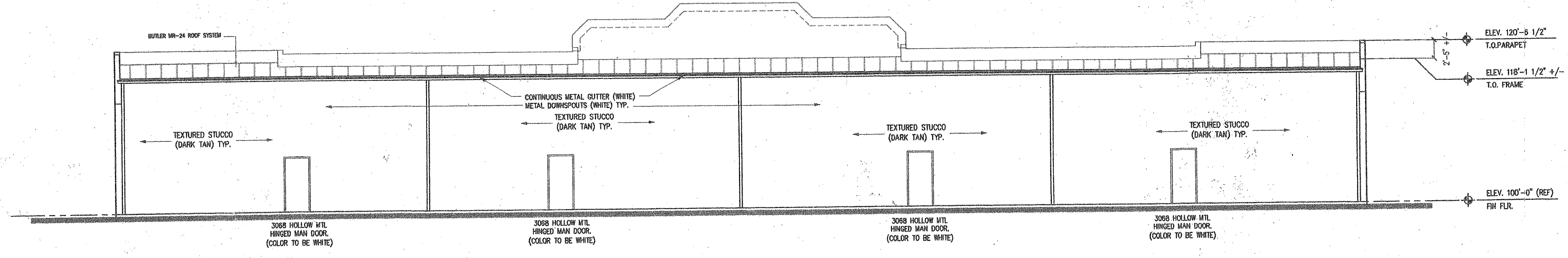
REVIEWED BY: DAVID ROY  
 MAY 21  
 03-2207  
 #101099  
 REV. 4.21.03  
 [Signature]  
 5/13/03

A1  
 03.26.03

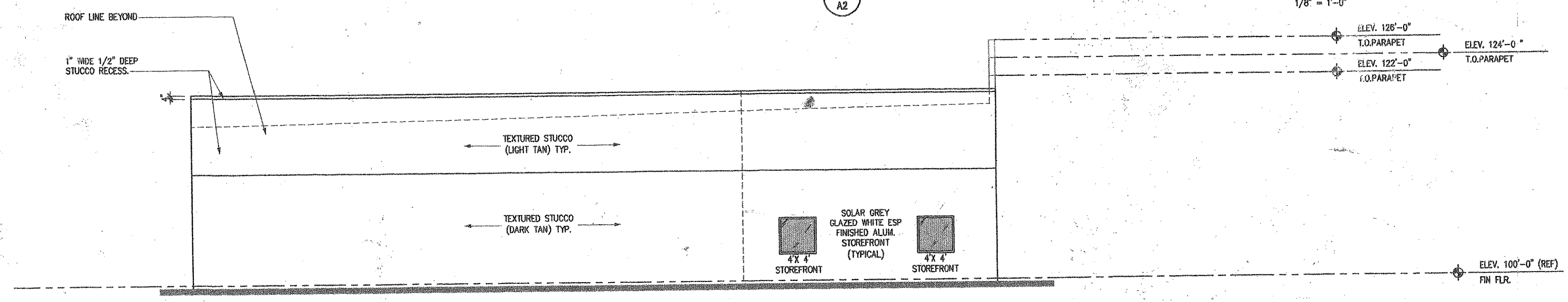




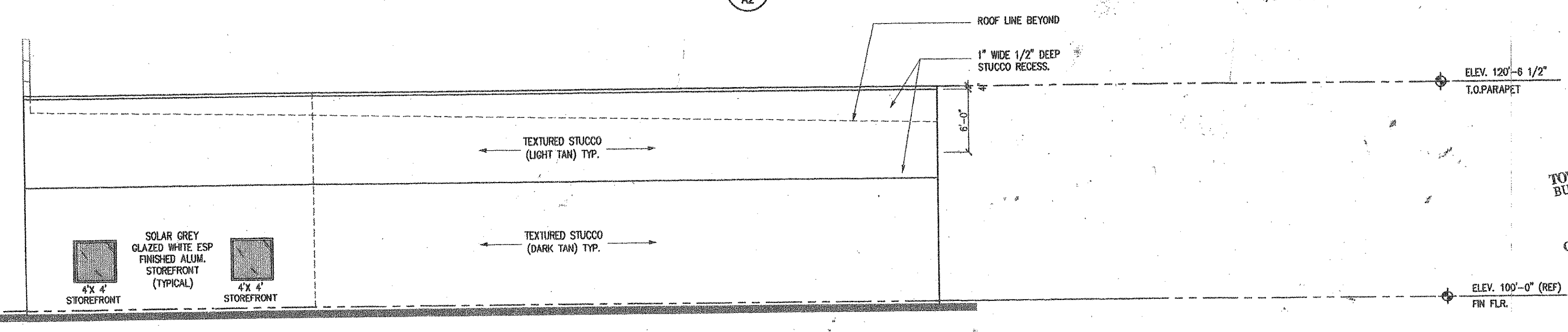
1  
A2  
**WEST ELEVATION**  
1/8" = 1'-0"



2  
A2  
**EAST ELEVATION**  
1/8" = 1'-0"



3  
A2  
**NORTH ELEVATION**  
1/8" = 1'-0"



4  
A2  
**SOUTH ELEVATION**  
1/8" = 1'-0"

Planning and Zoning Approval  
Signature *JM*  
Date *6/4/03*

TOWN OF JUPITER  
BUILDING DIVISION  
JUN 16 2003  
REVIEWED FOR  
CODE COMPLIANCE

NO.	DATE	DESCRIPTION
1	MAY 15 2003	THESE PLANS HAVE BEEN REVIEWED WITH THE TOWN OF JUPITER BUILDING DIVISION AND APPROVED FOR THE RESPONSIBILITY OF THE PERMIT APPLICANT.

MAY 21  
REVIEWER: DAVID ROY

03--2207  
REV. 4.21.03

*S. Raymond Berry*  
AR 2003000  
5/13/03

**A2**  
03.26.03

LWK II BUILDING LOT 118 JUPITER PARK OF COMMERCE JUPITER, FLORIDA 33458

• ALA • NCARB • ARCHITECT • PLANNER • 4152 W. Blue Heron Blvd. Suite 1114 • Riviera Beach, FL 33404 • (561) 971-1583 • FAX 888-755-1583

S. Raymond Berry

### FOOTING/LINTEL SCHEDULE

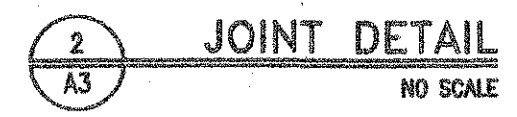
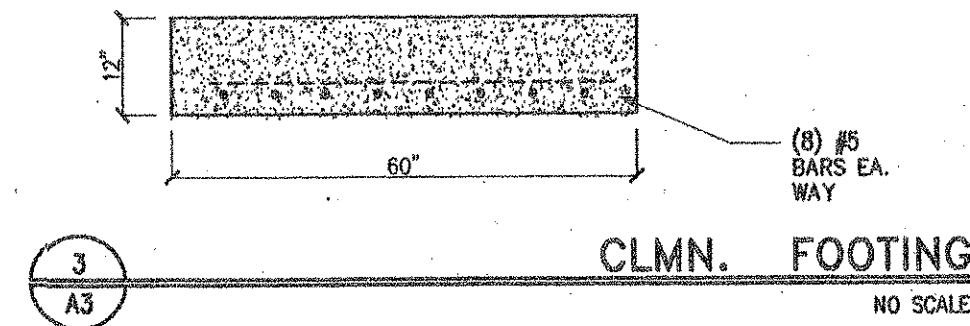
MARK	TYPE	SIZE (W X D)	REINFORCING STEEL			TIES	(REF) TOP EL. OF FTG./HDR.	BOTTOM EL. OF FTG./HDR.	REMARKS
			TOP	MID	BOT				
(E-1)	THICKENED EDGE	18" X 18"	-	-	3-#5 CONTINUOUS	-	+100'-0"	+98'-6"	-
(E-2)	COL. FTG.	60" X 12"	-	-	8-#5 EA. WAY	-	+100'-0"	+99'-0"	#3 PERPENDICULAR BARS @ 48" O.C.
(LB-1)	PRECAST LINTEL	SPAN VARIES	PRE-ENGINEERED, SEE MFG. UT.			-	-	+114'-0"	7'-0" @ STOREFRONT/6'-8" @ CMU DOORS & WINDOWS
(LB-2)	PRECAST LINTEL	12'-0" SPAN	PRE-ENGINEERED, SEE MFG. UT.			-	-	+114'-0"	-
(BB-1)	BOND BEAM	8" X 40"	#6 EA. (TOP TWO COURSES ONLY)			-	+120'-6 1/2"	+117'-2 1/2"	NORTH & SOUTH WALLS ONLY
(BB-2)	BOND BEAM	8" X 16"	#6 EA. BLOCK			-	+118'-10 1/2"	+118'-6 1/2"	CMU WALL @ GRID LINE 2 ONLY
(BB-3)	BOND BEAM	8" X 16"	#6 EA. BLOCK			-	+118'-6 1/2"	+117'-3 1/2"	EAST WALL (GRID LINE 3)
(BB-4)	BOND BEAM (END POINT)	8" X 8"	1-#6			-	+108'-6 1/2"	+107'-10 1/2"	@ NORTH SOUTH WALL & GRID LINE 2 & 3

### DOOR SCHEDULE

DOOR NO.	DOOR SIZE			DOOR TYPE	FRAME TYPE	HARDWARE REQUIRED	REMARKS
	WIDTH	HEIGHT	THICKNESS				
1	36"	80"	-	HC MTL.(FLUSH)	MTL	2	-
2	36"	80"	-	HC MTL.(FLUSH)	MTL	4	-
3	36"	84"	-	SF.(FULL GLASS)	ALUM.	-	HARDWARE PROVIDED BY MFR.
4	36"	80"	-	MTL.(6 PNL)	MTL	4	FIRE RATED FOR 1HR WALL

NOTES:  
 1. ELEVATIONS ARE TAKEN FROM FINISHED SLAB  
 2. SEE SECTIONS AND DETAILS FOR END, BEAM & OVERHEAD DOORS ELEVATIONS.  
 3. CONTROL JOINTS SHALL BE AS INDICATED ON PLAN.  
 4. ALL LINTELS SHALL BE MANUFACTURED BY "CASTCRETE" OR EQUAL.

NO. HARDWARE:  
 1. PASSAGE SET  
 2. LOCKSET  
 3. PRIVACY SET  
 4. LOCK SET W/ CLOSER



#### STRUCTURAL NOTES

**\*\*GRAVITY LOAD\*\***  
 ROOF - ALL DEAD LOADS PLUS 30 PSF REDUCIBLE LIVE LOAD.

**\*\*WIND LOAD\*\***  
 FBC 2001 STANDARD BUILDING CODE 140 MPH  
 BASIC PRESSURE: 26.8 PSF

**\*\*SOIL BEARING\*\***  
 ASSUMED BEARING VALUE 2,000 PSF

**\*\*CODES\*\***  
 2001 FLORIDA BUILDING CODE  
 BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI-85),  
 MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE (ACI 315-85),  
 AMERICAN CONCRETE INSTITUTE,  
 NATIONAL CONCRETE MASONRY ASSOCIATION,  
 AMERICAN INSTITUTE OF STEEL CONSTRUCTION,  
 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - 1982 EDITION, AND SUPPLEMENT.

**\*\*MATERIALS\*\***  
 CONCRETE: ALL CONCRETE SHALL BE NORMAL WEIGHT, (USD TYPE CONCRETE) WITH A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS OF AGE. WATER CEMENT RATIO SHALL NOT EXCEED 0.6 PERCENT.

**REINFORCING STEEL:** ALL REINFORCING STEEL SHALL BE OF NEW BILLET STOCK, CONFORMING WITH ASTM A-615 GRADE 60.

**CONCRETE PROTECTION FOR REINFORCING BARS:**  
 THE FOLLOWING PROTECTION CLEAR COVER SHALL BE PROVIDED:  
 FOOTINGS: 3 INCHES  
 BEAMS: 1 1/2 INCH  
 SLAB ON GRADE: 2 INCHES

**STRUCTURAL STEEL:** SHALL BE ASTM A36, FABRICATED AND ERRECTED IN ACCORDANCE WITH AISC SPECIFICATIONS AND STANDARDS. ALL BOLTS TO BE ASTM A325. ALL WELDS TO BE PERFORMED BY CERTIFIED WELDERS ONLY. SUBMIT SHOP DRAWINGS FOR ARCHITECT/ENGINEER APPROVAL PRIOR TO FABRICATION.

**COLD-FORMED STEEL TUBING:** ASTM A500, GRADE B  
**HOT-FORMED STEEL TUBING:** ASTM A501  
**STEEL PIPE:** ASTM A53, TYPE E OR S, GRADE B  
**ANCHOR BOLTS:** ASTM A307, U-TYPE U.O.N  
**HEADED STUD TYPE SHEAR CONNECTORS:** ASTM A108, GRADE 1015 UP TO 1022, COLD FINISHED CARBON STEEL WITH DIMENSIONS COMPLYING WITH AISC SPECIFICATIONS.

**UNFINISHED THREADED FASTENERS:** ASTM A307, GRADE A, REGULAR LOW-CARBON STEEL BOLTS AND NUTS, PROVIDED EITHER HEXAGONAL OR SQUARE HEADS AND NUTS, EXCEPT USE ONLY HEXAGONAL UNITS FOR EXPOSED CONNECTORS.

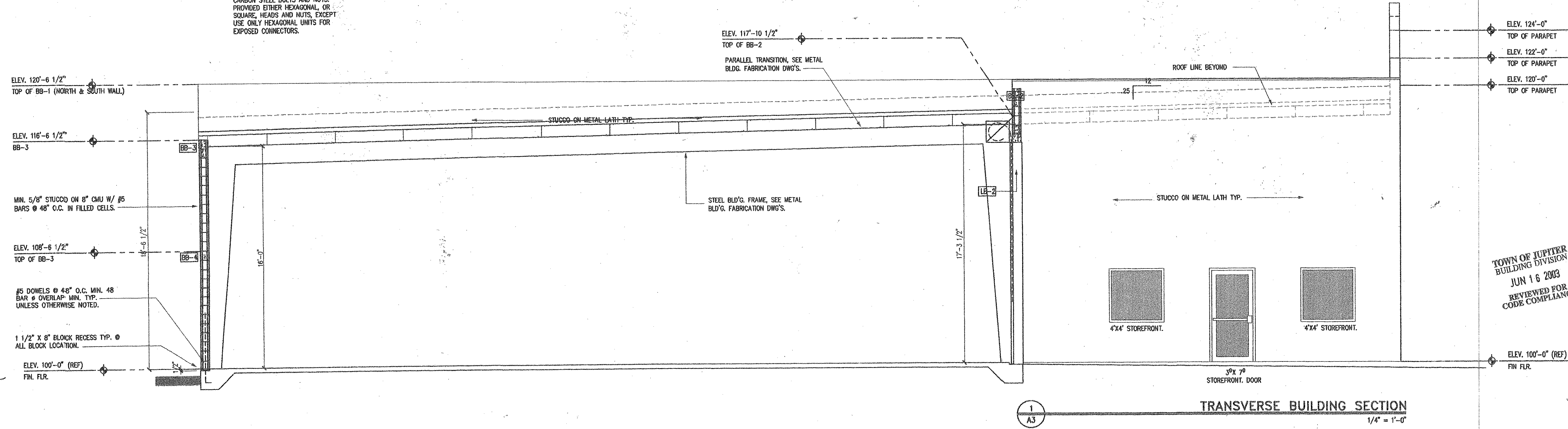
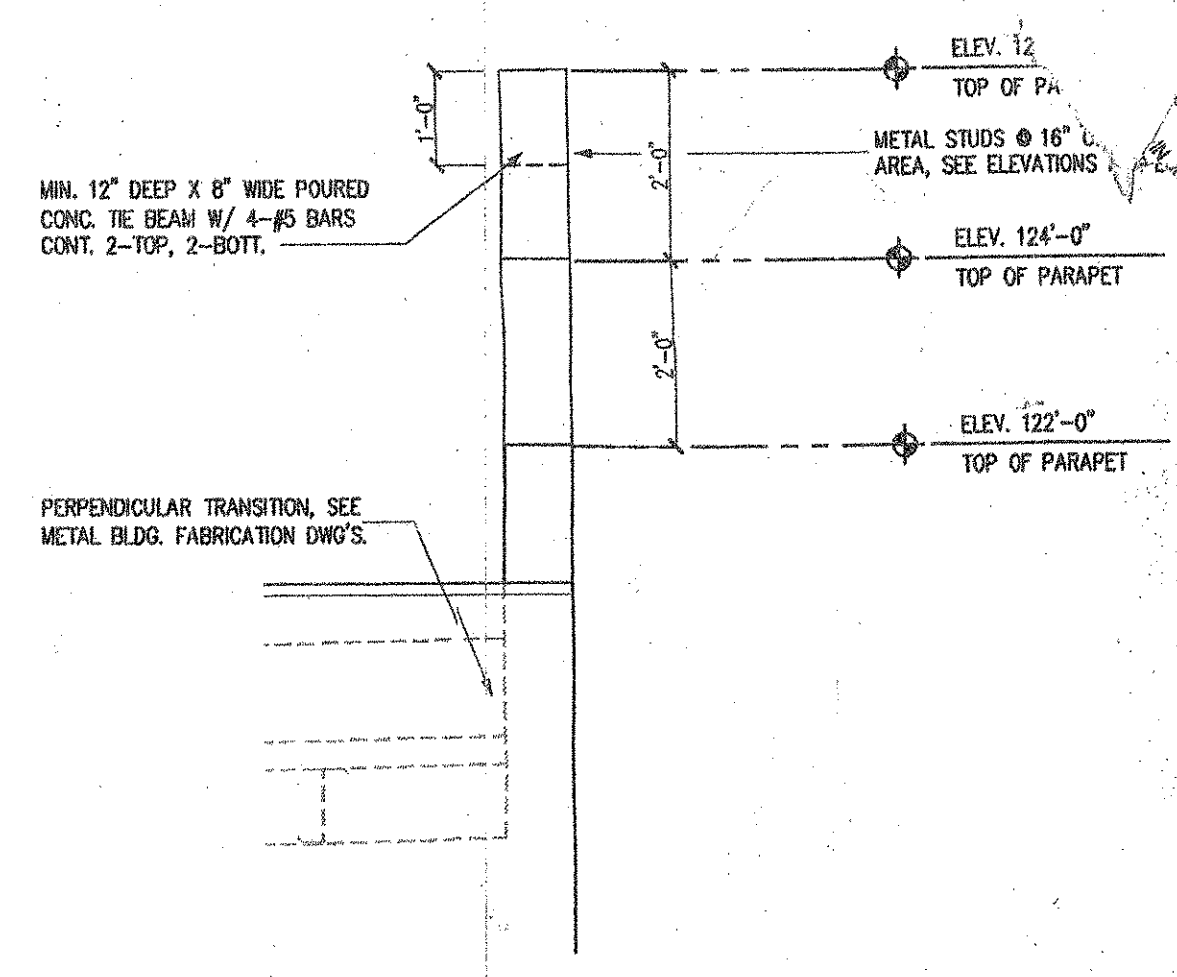
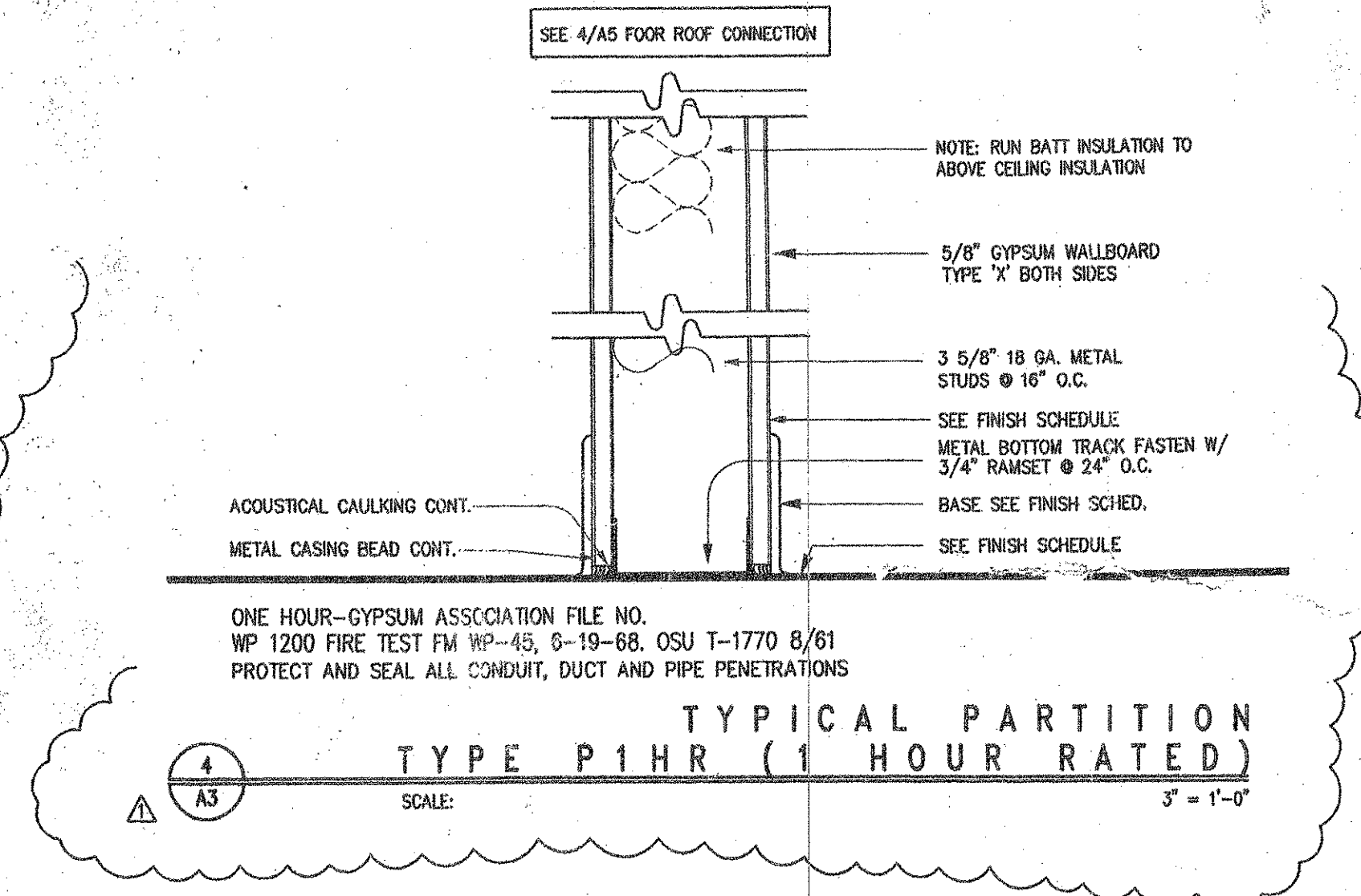
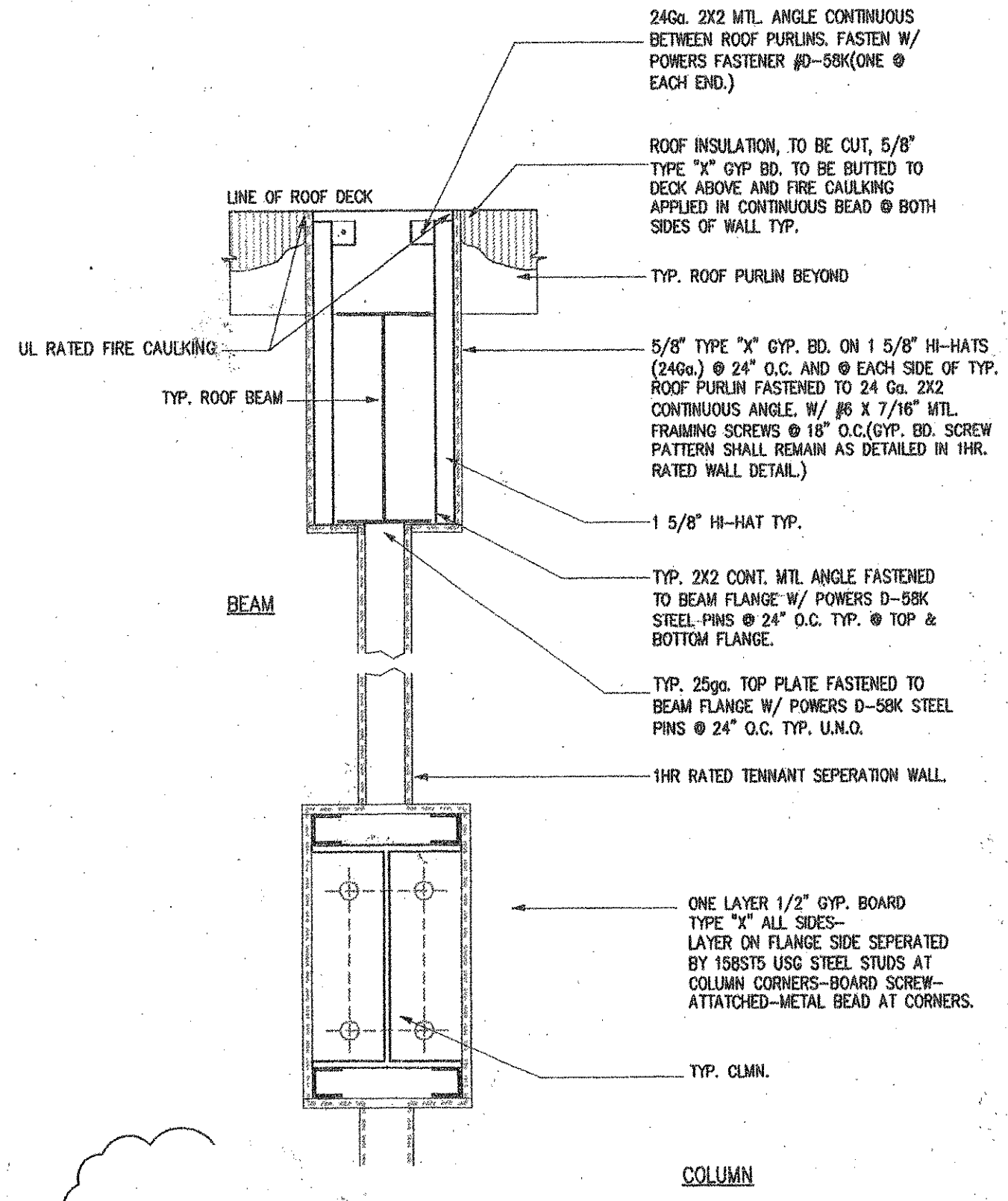
**LUMBER:** ALL FRAMING LUMBER SHALL BE STRESS GRADE LUMBER WITH MINIMUM Fb= 1,200 PSI AND MOISTURE CONTENT NOT TO EXCEED 19%. ALL FRAMING LUMBER IN CONTACT WITH CONCRETE, MASONRY, EARTH, OR STEEL SHALL BE PRESSURE TREATED LUMBER.

**REINFORCED CONCRETE MASONRY:**  
 LOAD BEARING CONCRETE MASONRY WALLS ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS FOR THE DESIGN AND CONSTRUCTION OF LOAD BEARING CONCRETE MASONRY BY NOMA.

**MATERIALS:**  
 a. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90-70, AND ASTM C140-70 WITH A REQUIRED fm=1,000 PSI  
 b. MORTAR: TYPE S, MINIMUM 28-DAY CURE. STRENGTH TO BE 1,800 PSI COMPLYING WITH ASTM C270-73 AND ASTM 150-74.  
 c. GROUT: SHALL BE PEARLOCK GROUT CONFORMING TO ASTM C-476-71, CROUT TO BE 3,000 PSI MINIMUM AT 28 DAYS, AND SLUMP SHALL NOT EXCEED 8 INCHES.  
 d. REINFORCING BARS: SHALL BE ASTM A-615 GRADE 60. MATERIALS, METHOD OF CONSTRUCTION, HIGH LIFT GROUTING, INSPECTION AND TESTING SHALL BE AS SPECIFIED IN THE NOMA SPECIFICATIONS.  
 HOLLOW UNITS SHALL BE LAID WITH "FACE SHELL MORTAR BEDDING" EXCEPT AT ISOLATED GROUTED CELLS AND MASONRY INTERSECTIONS, USE FULL MORTAR BEDDING.  
 PROVIDE NO. 8 LADDER TYPE JOINT REINFORCEMENT EVERY OTHER COURSE UNLESS OTHERWISE NOTED.  
 ALL SPICES SHALL BE 20 TIMES THE BAR DIAMETER U.O.N. PROVIDE VERTICAL REINFORCEMENT AS SPECIFIED ON THE PLANS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS SHOWING ALL HORIZONTAL, VERTICAL REINFORCING AND DOWELS FOR APPROVAL PRIOR TO FABRICATION.

**UNREINFORCED CONCRETE MASONRY:**  
 MASONRY: ALL MASONRY WALLS SHALL BE OF CONCRETE BLOCK UNITS CONFORMING TO ASTM C-90 PLACED IN RUNNING BOND PATTERN WITH TYPE "S" MORTAR AND REINFORCED WITH DUR-O-WAL OR EQUAL EVERY OTHER COURSE.

**PRE-ENGINEERED STRUCTURE NOTES:**  
 STEEL FRAMES & ROOF SYSTEM SHALL BE AS MANUFACTURED BY "BUTLER MANUFACTURING CO.", KANSAS CITY, MISSOURI.  
 THE MANUFACTURER SHALL SUPPLY AN ANCHOR BOLT PLAN, REVISIONS AND SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL AND SUBMISSION TO THE BUILDING DEPARTMENT OF JURISDICTION. ALL REQUIRED OFFICIAL COPIES SHALL BE SIGNED, DATED, AND SEALED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF FLORIDA.



THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH PALM BEACH COUNTY FIRE CODE. COMPLIANCE IS THE RESPONSIBILITY OF THE PERMIT APPLICANT.

MAY 21  
 REVISION: DAVID ROY

TOWN OF JUPITER BUILDING DIVISION  
 JUN 16 2003  
 REVIEWED FOR CODE COMPLIANCE

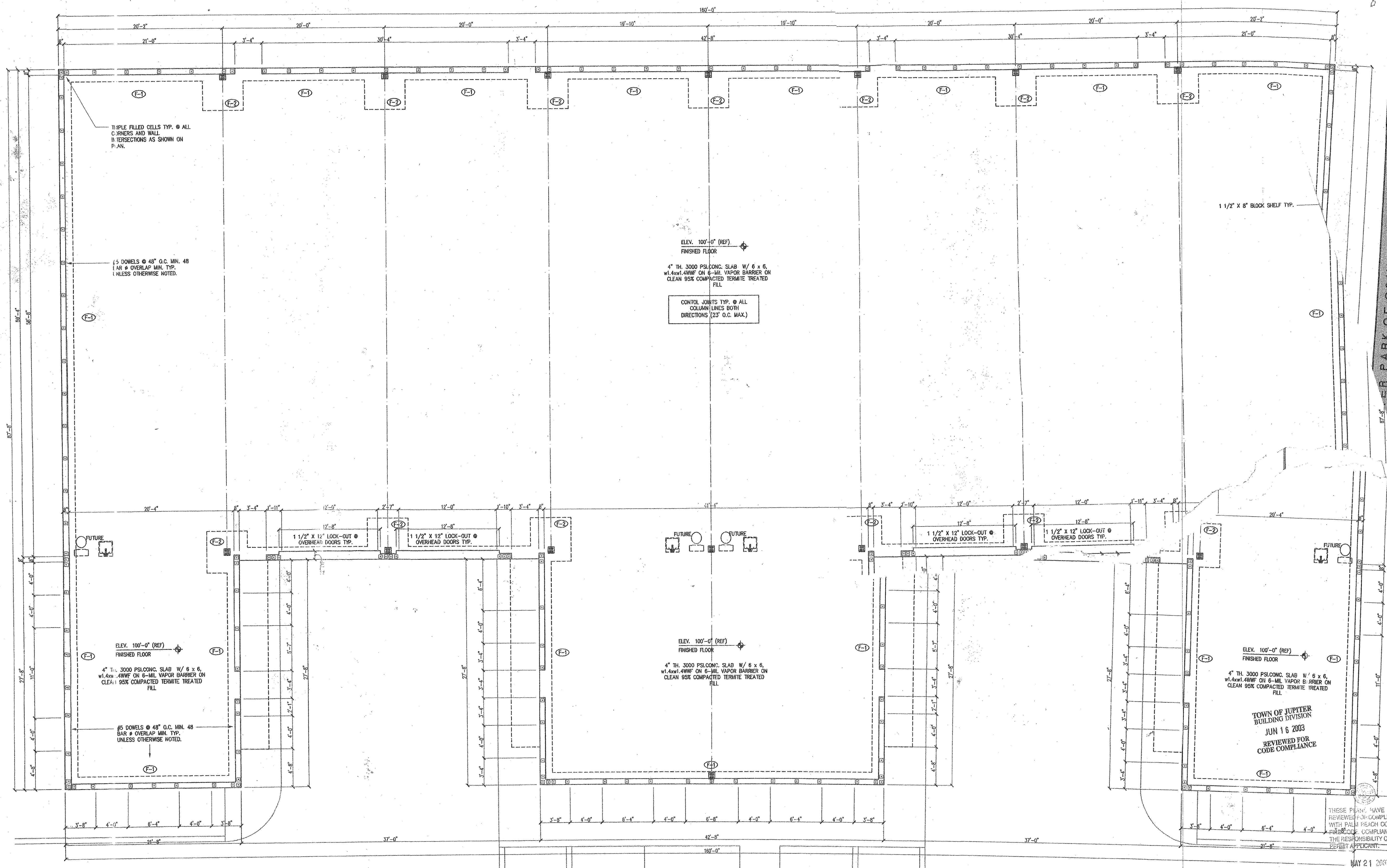
REVISIONS  
 MAY 15 2003  
 TOWN OF JUPITER BUILDING DIVISION

03--2207

REV. 4.21.03

JUPITER PARK OF COMMERCE  
 LOT 18 JUPITER PARK OF COMMERCE  
 LWK II BUILDING  
 AIA • NCARB • ARCHITECT • PLANNER • 4152 W. Blue Heron Blvd. Suite 1114 • Riviera Beach, FL 33404

Raymond Berry  
 5/13/03  
 03.2



TRIPLE FILLED CELLS TYP. @ ALL CORNERS AND WALL INTERSECTIONS AS SHOWN ON PLAN.

5 DOWELS @ 48" O.C. MIN. 48 BAR @ OVERLAP MIN. TYP. UNLESS OTHERWISE NOTED.

ELEV. 100'-0" (REF) FINISHED FLOOR  
 4" TH. 3000 PSL. CONC. SLAB W/ 6 x 6, w/ 4xw1.4WVF ON 6-MIL VAPOR BARRIER ON CLEAN 95% COMPACTED TERMITIC TREATED FILL

CONTROL JOINTS TYP. @ ALL COLUMN LINES BOTH DIRECTIONS (23' O.C. MAX.)

ELEV. 100'-0" (REF) FINISHED FLOOR  
 4" TH. 3000 PSL. CONC. SLAB W/ 6 x 6, w/ 4xw1.4WVF ON 6-MIL VAPOR BARRIER ON CLEAN 95% COMPACTED TERMITIC TREATED FILL

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 4" TH. 3000 PSL. CONC. SLAB W/ 6 x 6, w/ 4xw1.4WVF ON 6-MIL VAPOR BARRIER ON CLEAN 95% COMPACTED TERMITIC TREATED FILL

TOWN OF JUPITER BUILDING DIVISION  
 JUN 16 2003  
 REVIEWED FOR CODE COMPLIANCE

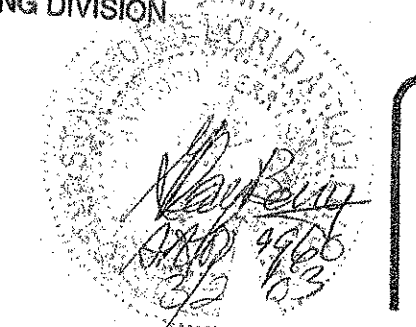
THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH PALM BEACH COUNTY BUILDING CODE. COMPLIANCE IS THE RESPONSIBILITY OF THE PERMIT APPLICANT.

MAY 21 2003  
 TOWN OF JUPITER RECEIVED DAVID ROY  
 APR - 2 2003

1  
 A1 FLOOR PLAN  
 3/16" = 1'-0"



09--2207



S1

03.26.03

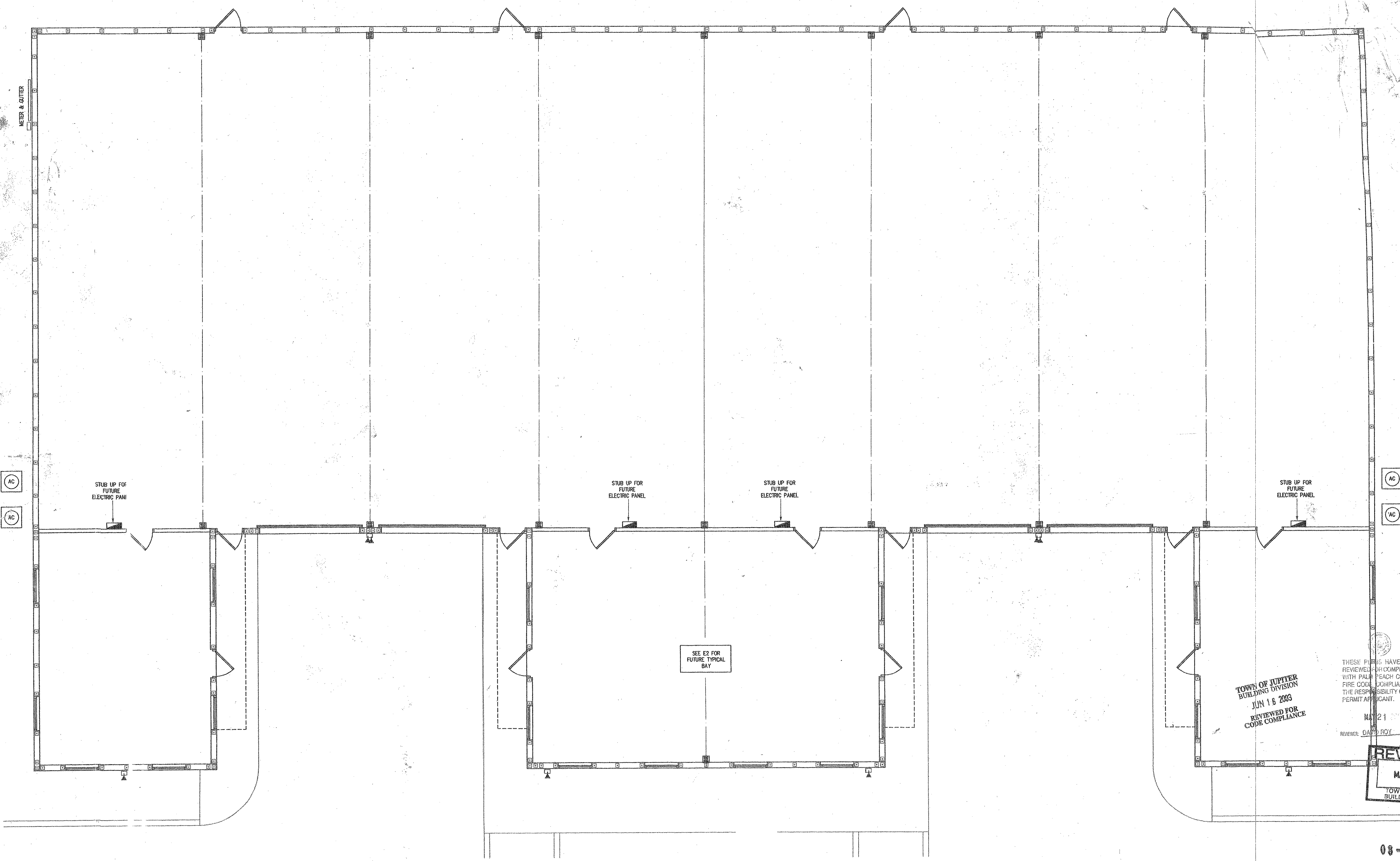
100 PARK OF COMMERCE JUPITER FLORIDA 33458  
 Heron Blvd. Suite 1114 • Riviera Beach, FL 33404 • (561) 881-1583 • FAX 881-8155

LWK II BUILDING • AIA • NCARB • ARCHITECT • P.A.

G. Raymond Berry

JUPITER, FLORIDA 33458  
LOT 18, JUPITER PARK OF COMMERCE  
LWK II BUILDING

1714 Heron Blvd. Suite 1.14 • Riviera Beach, FL 33404 • (561) 881-1583 • FAX 881-8155



AC  
AC

AC  
AC

STUB UP FOR FUTURE ELECTRIC PANEL

STUB UP FOR FUTURE ELECTRIC PANEL

STUB UP FOR FUTURE ELECTRIC PANEL

STUB UP FOR FUTURE ELECTRIC PANEL

SEE E2 FOR FUTURE TYPICAL BAY

TOWN OF JUPITER  
BUILDING DIVISION  
JUN 16 2003  
REVIEWED FOR  
CODE COMPLIANCE

THESE PLANS HAVE BEEN  
REVIEWED FOR COMPLIANCE  
WITH PALM BEACH COUNTY  
FIRE CODE. COMPLIANCE IS  
THE RESPONSIBILITY OF THE  
PERMIT APPLICANT.

MAY 21  
REVIEWER: DAN ROY

REVISIONS  
MAY 15 2003  
TOWN OF JUPITER  
BUILDING DIVISION

08--2807

revised 5.6.03



ELECTRICAL FLOOR PLAN  
3/16" = 1'-0"

1  
E1

*[Signature]*  
1/13/03

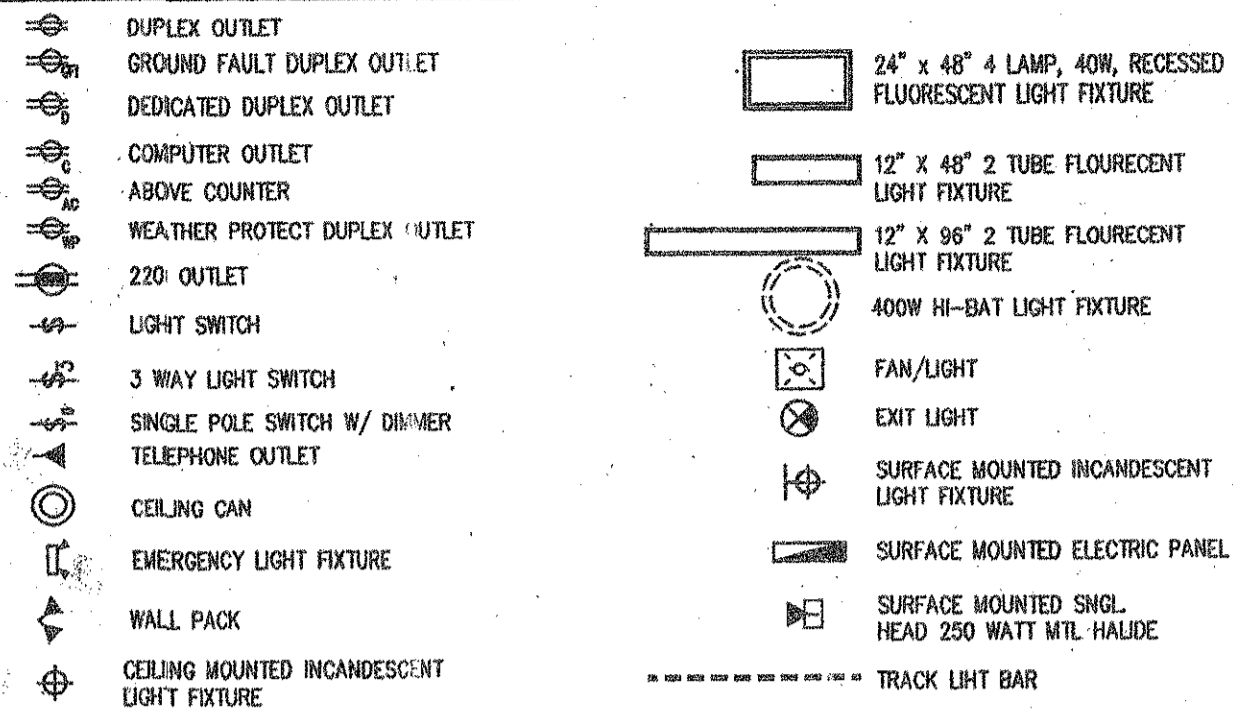
E1

03.26.03

*[Signature]*  
Raymond

LWK-2  
AN  
03.26.03

**ELECTRICAL LEGEND**



**ELECTRICAL RISER DIAGRAM**

**ELECTRICAL LOAD CALCULATION**

**MAIN SERVICE LOAD CALCULATIONS**

HOUSE PANEL	
WALL PACK FIXTURES ( 6 @ 400W )	2400 WATTS
SIGN FIXTURES ( 4 @ 200 )	800 WATTS
IRRIGATION PUMP ( FUTURE )	3600 WATTS
	6800 WATTS
<b>TOTAL LOAD</b> 6800	<b>32.6AMPS</b>

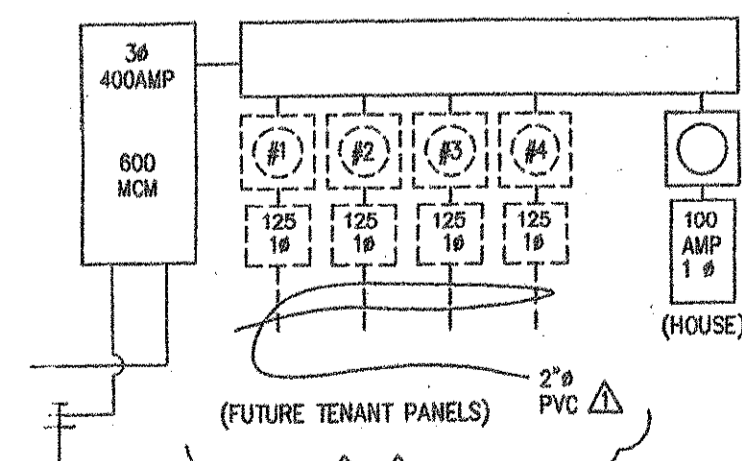
TYPICAL FUTURE TENNANT BAY (OFFICE AREA)	
<b>NON CONTINUOUS LOAD</b>	
8 OUTLETS X 180 WATTS	1,440 WATTS
<b>CONTINUOUS LOAD</b>	
GENERAL LIGHTING OFFICE (549 X 3.5)	1921 WATTS
REFRIGERATOR	1200 WATTS
COPY MACHINE	2000 WATTS
COPY MACHINE	1000 WATTS
DISPOSAL	400 WATTS
MICROWAVE	1200 WATTS
WATER HEATER	1500 WATTS
A/C HEAT	3,500 WATTS
<b>TOTAL</b>	<b>12721 WATTS</b>
<b>TOTAL CONTINUOUS LOAD ( 12721 X 1.25 )</b>	<b>15901 WATTS</b>
<b>TOTAL NON-CONTINUOUS LOAD</b>	<b>1440 WATTS</b>
<b>TOTAL LOAD</b> 17341/208	<b>83.3AMPS</b>

TYPICAL FUTURE TENNANT BAY (WAREHOUSE AREA)	
<b>NON CONTINUOUS LOAD</b>	
10 OUTLETS X 180 WATTS	1,800 WATTS
<b>CONTINUOUS LOAD</b>	
GENERAL LIGHTING OFFICE (2317 X 2)	4634 WATTS
<b>TOTAL CONTINUOUS LOAD ( 4634 X 1.25 )</b>	<b>5792 WATTS</b>
<b>TOTAL NON-CONTINUOUS LOAD</b>	<b>1800 WATTS</b>
<b>TOTAL LOAD</b> 7592/208	<b>36.5AMPS</b>

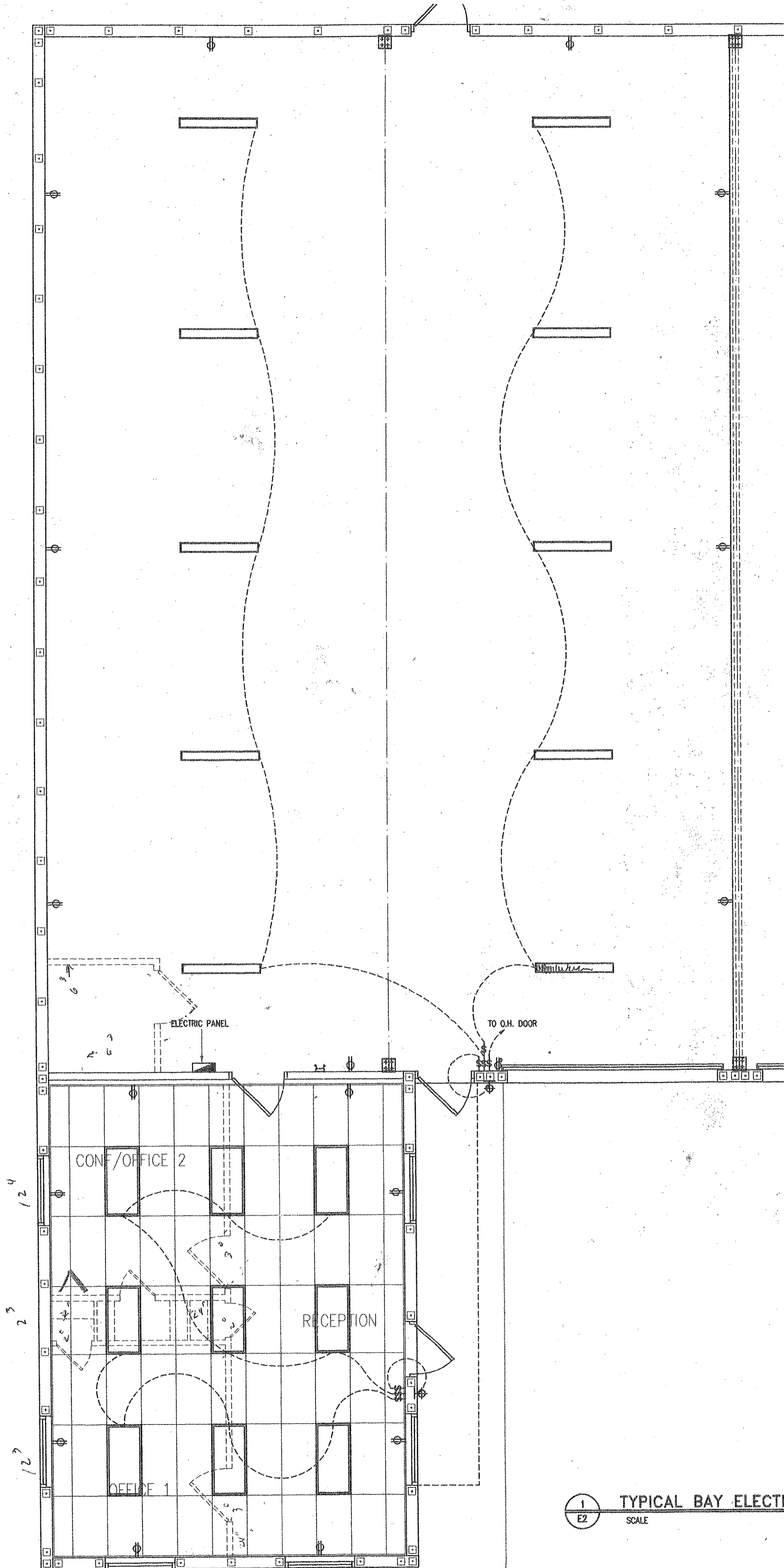
106,532/(208x1.73) = 285 AMPS

400AMP 3Ø SERVICE

**ELECTRICAL RISER DIAGRAM**



△ CALCULATED AVAILABLE THREE PHASE FAULT CURRENT @ TRANSFORMER SECONDARY TERMINALS: 13449 SYMMETRICAL AMPERES AT 120/208 VOLTS  
 △ SITE LIGHTING AND PHOTO METRICS WILL BE PROVIDED UNDER SEPARATE PERMIT.



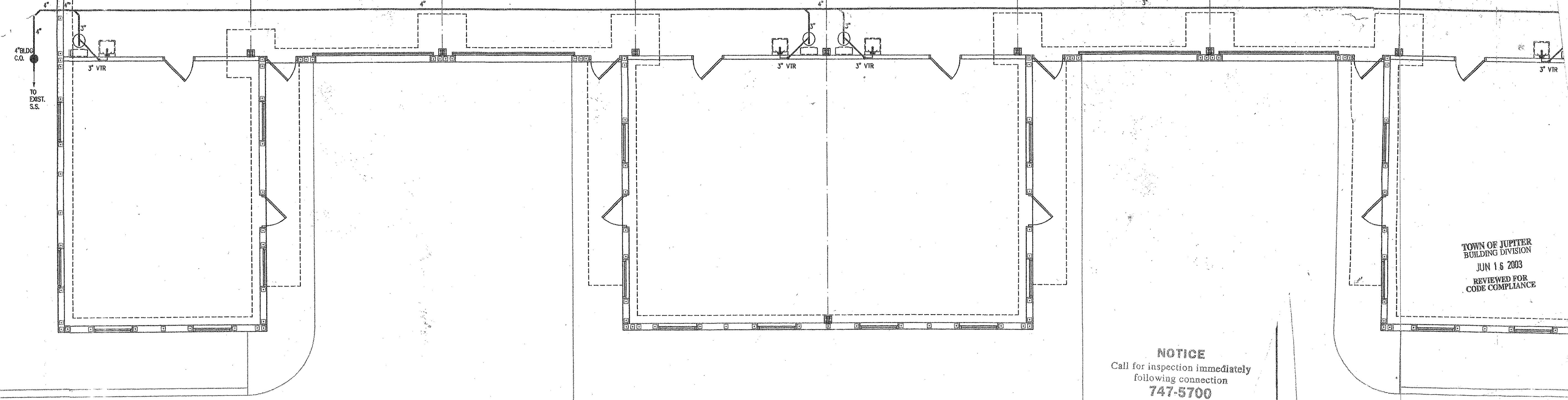
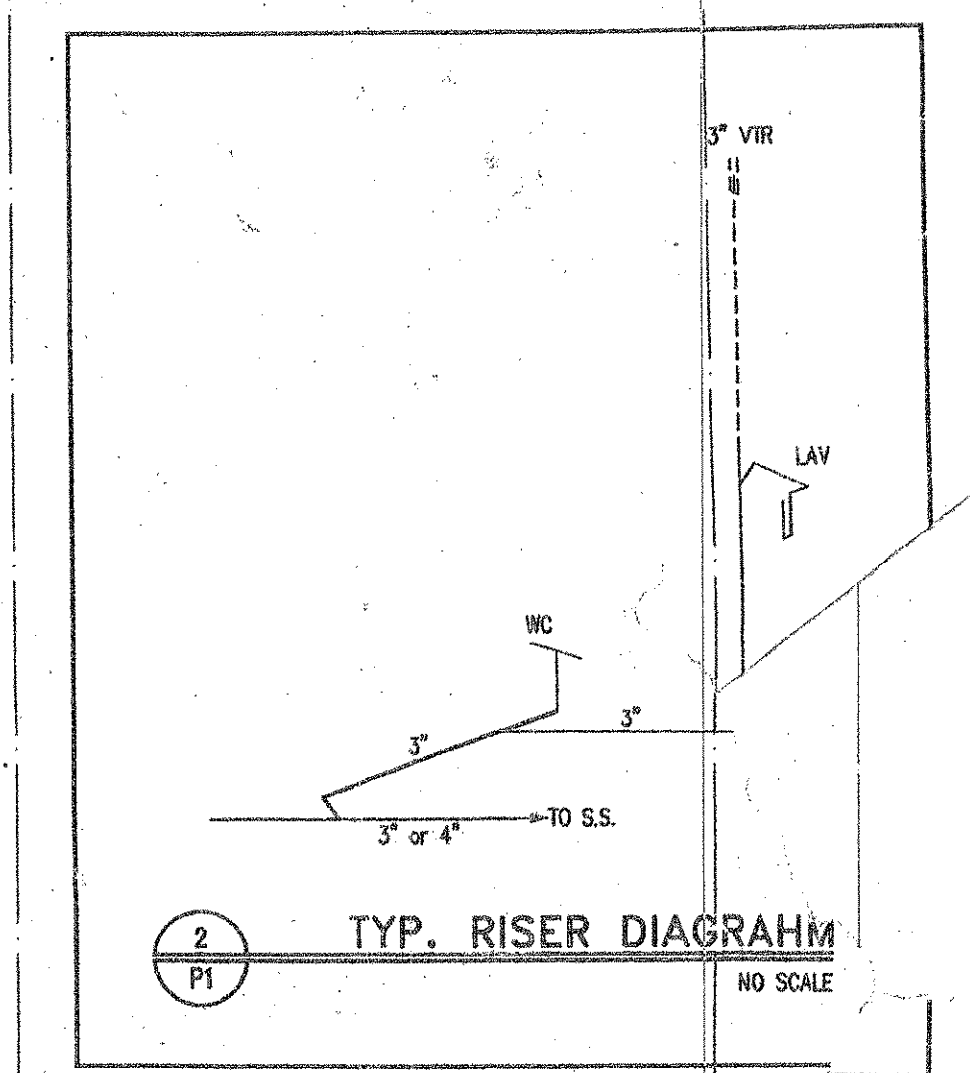
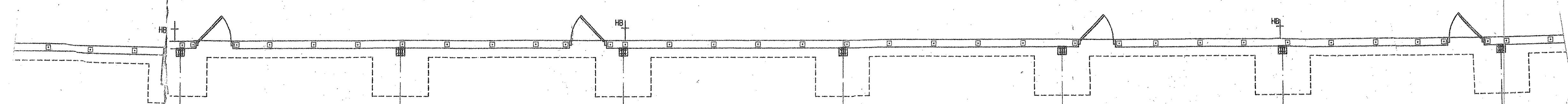
**TYPICAL BAY ELECTRICAL FLOOR PLAN**  
 SCALE 1/4" = 1'-0"



LWK II BUILDING LOT 16, JUPITER PARK OF COMMERCE JUPITER, FLORIDA 33474  
 AIA • NCARB • ARCHITECT • PLANNER • 4152 W. Blue Heron Blvd. Suite 1114

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH PALM BEACH COUNTY FIRE CODE. COMPLIANCE IS THE RESPONSIBILITY OF THE PERMIT APPLICANT.  
 MAY 21 2003  
 RANEL DAVIE POY  
 TOWN OF JUPITER BUILDING DIVISION  
 JUN 16 2003  
 REVIEWED FOR CODE COMPLIANCE  
**REVISIONS**  
 MAY 15 2003  
 TOWN OF JUPITER BUILDING DIVISION

08479

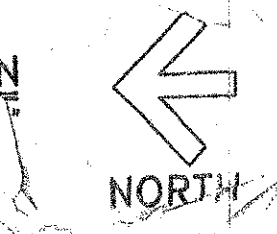


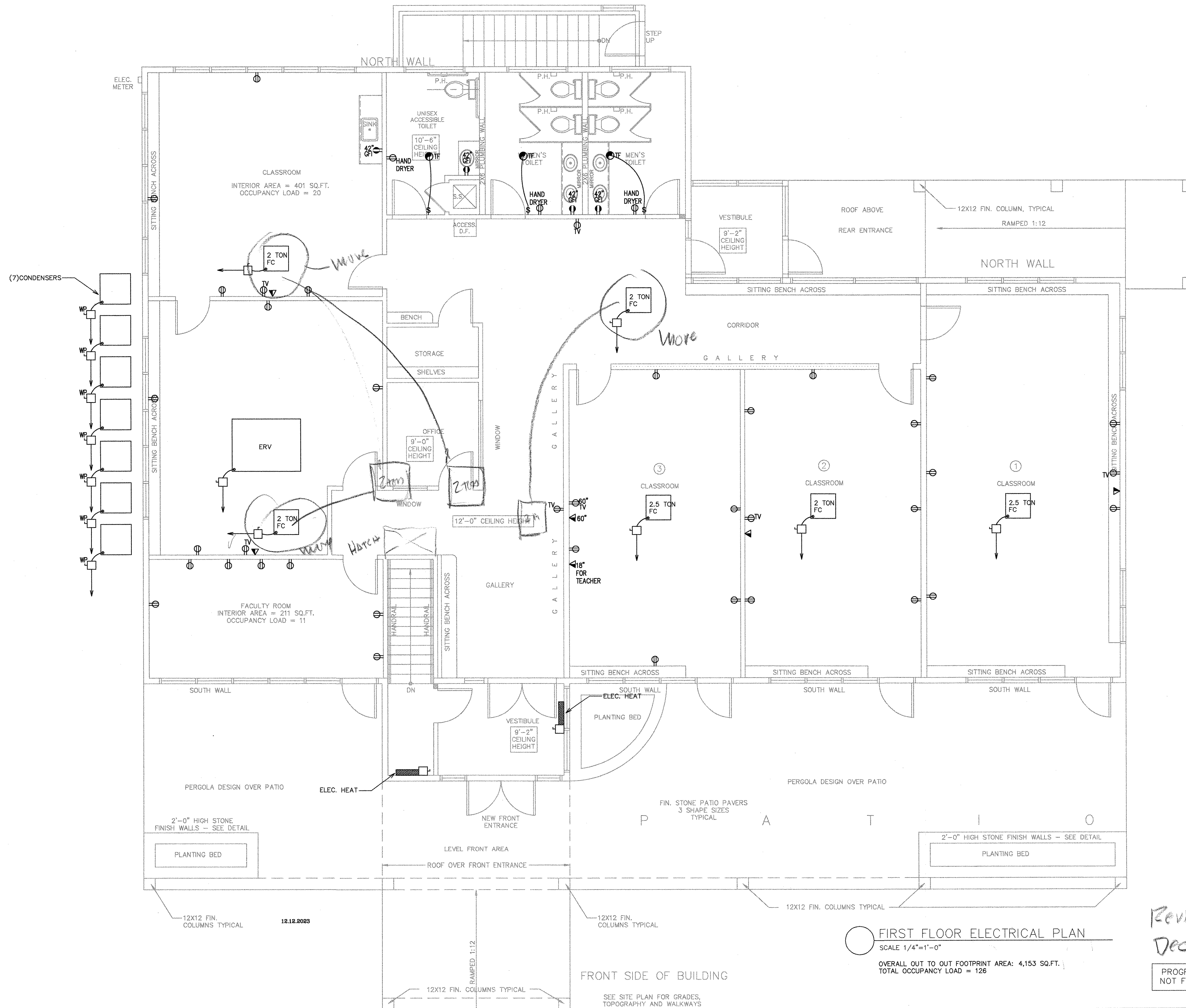
**NOTICE**  
Call for inspection immediately  
following connection  
747-5700

TOWN OF JUPITER  
BUILDING DIVISION  
JUN 16 2003  
REVIEWED FOR  
CODE COMPLIANCE

1  
PI

TOWN OF JUPITER  
RECEIVED  
APR - 2 2003  
BUILDING DIVISION





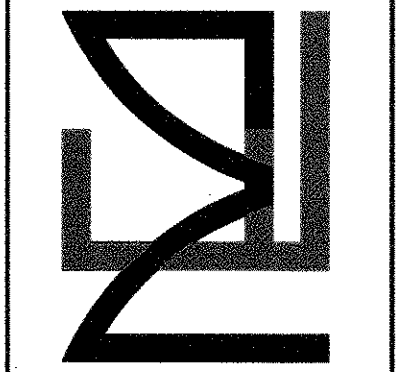
**FIRST FLOOR ELECTRICAL PLAN**  
SCALE 1/4"=1'-0"

OVERALL OUT TO OUT FOOTPRINT AREA: 4,153 SQ.FT.  
TOTAL OCCUPANCY LOAD = 126

*Revised  
Dec 18*

PROGRESS FOR REVIEW.  
NOT FOR CONSTRUCTION

MEA ENGINEERING ASSOC., INC.  
Mechanical/Electrical Engineers  
8 Water Street  
Waltham, MA 02453  
PHONE NO: (781) 894-6730  
FAX NO: (781) 647-3542  
email: muc96@aol.com



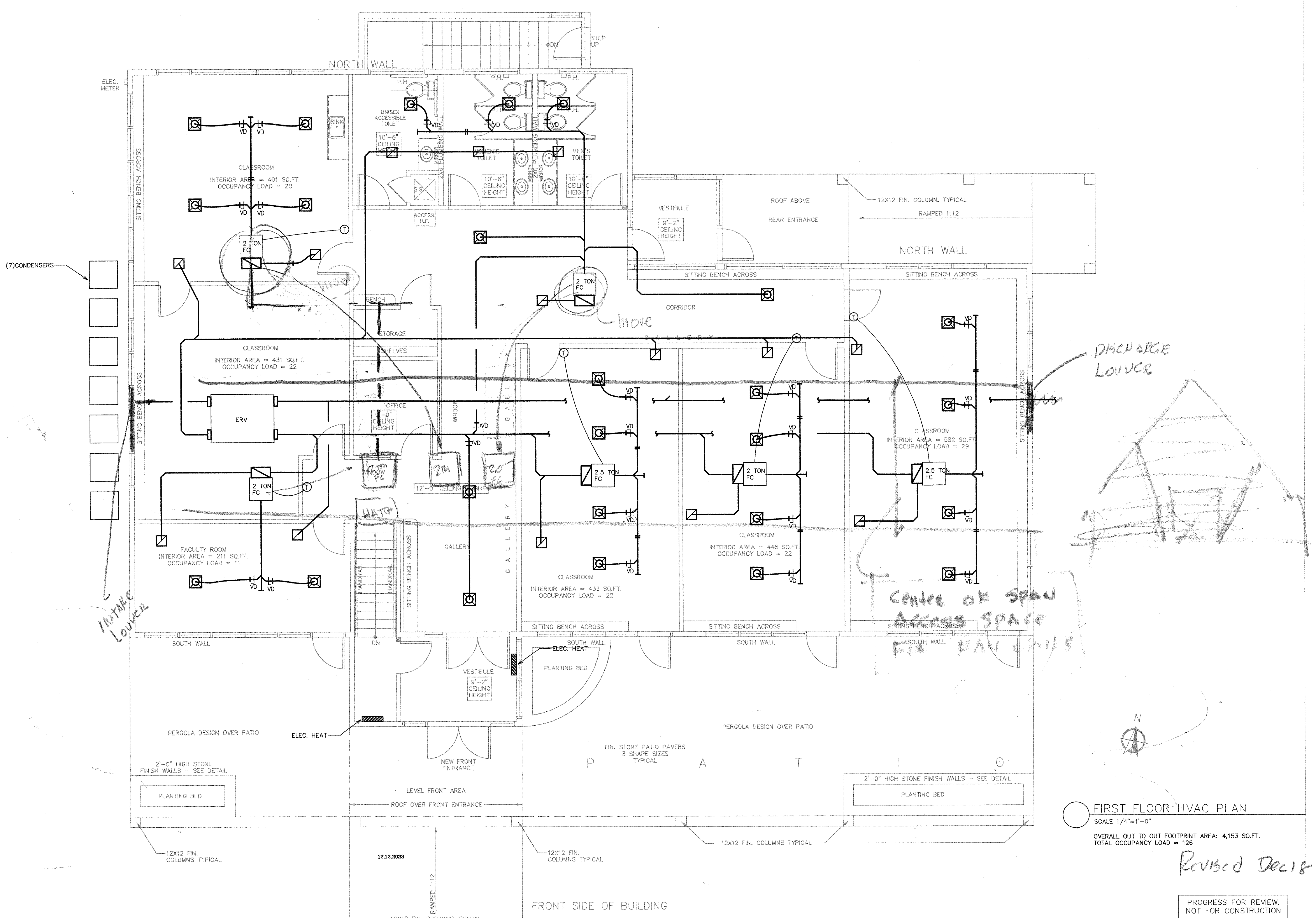
No.	Date	Description

PROJECT:  
**CHAPEL HILL - CHAUNCY HALL SCHOOL  
ATWOOD HOUSE - ACADEMIC BUILDING**  
785 BEAVER STREET  
WALTHAM, MA 02452

SCALE	1/4"=1'-0"
DESIGNED	W.F.
DRAWN	W.F.
CHECKED	A.B.M.
FILE NAME	
PLOTTED	
ISSUE DATE	12.16.2023
JOB NO.	

**ELECTRICAL**

TITLE:  
FIRST FLOOR  
ELECTRICAL PLAN



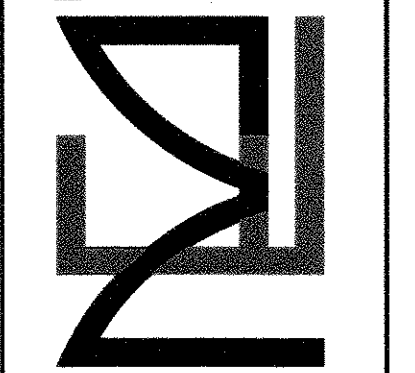
○ FIRST FLOOR HVAC PLAN  
SCALE 1/4"=1'-0"

OVERALL OUT TO OUT FOOTPRINT AREA: 4,153 SQ.FT.  
TOTAL OCCUPANCY LOAD = 126

*Revised Dec 18*

PROGRESS FOR REVIEW.  
NOT FOR CONSTRUCTION

MEA ENGINEERING ASSOC., INC.  
Mechanical/Electrical Engineers  
8 Water Street  
Waltham, MA 02453  
PHONE NO: (781) 894-6730  
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email: muce96@aol.com



No.	Date	Description

PROJECT:  
CHAPEL HILL - CHAUNCY HALL SCHOOL  
ATWOOD HOUSE - ACADEMIC BUILDING  
785 BEAVER STREET  
WALTHAM, MA 02452

SCALE	1/4"=1'-0"
DESIGNED	W.R.
DRAWN	W.R.
CHECKED	A.E.M.
FILE NAME	
PLOTTED	
ISSUE DATE	12.16.2023
JOB NO.	

HVAC  
TITLE:  
FIRST FLOOR HVAC PLAN